

**VENETA
PLANNING COMMISSION
STAFF REPORT**

**Hillbilly Brews Expansion – City File No. SR-4-23
Site Plan Review**

Application Received: November 2, 2023
Application Deemed Incomplete: November 29, 2023
Additional Information Received: November 30, 2023
March 13, 2024
Application Complete: March 14, 2024
Notice Mailed: April 5, 2024
Notice Posted: April 5, 2024
Staff Report Date: April 29, 2024
120 days from Completeness: July 12, 2024
Agency Referrals:
Lane Fire Authority – Brian Sayles, Fire Marshall
Oregon Department of Transportation (ODOT) Region 2
Building Official – Jason Bush, CBO
Lane County Public Works/Transportation Planning
EPUD
Sanipac
Branch Engineering – Lane Branch, City Engineer
Veneta Public Works – Kyle Schauer, Public Works Director
CenturyLink

Prepared by: Daniel Findlay, Associate Planner

BASIC DATA

Owner: Farm Grown LLC
87841 Misty Lane
Veneta, Oregon 97487

Applicant: JRC Ventures LLC
24870 Warthen Road
Elmira, Oregon 97437

Agent: Joanna and Charbel Richa
24870 Warthen Road
Elmira, Oregon 97437

Representative:	Kaminski Construction 4673 Isabelle Street Eugene, OR 97407
Site Address:	88345 Territorial Road
Assessor's Map No.	17-06-36-11
Tax Lot No.	00300
Zoning District:	Community Commercial (CC)
Comprehensive Plan Designation:	Commercial (C)

REQUEST

Site Plan Review for the expansion of an existing drive-through coffee shop to replace the existing 128 square-foot building with a 358 square-foot building.

BACKGROUND, PROPERTY CHARACTERISTICS, AND CONTEXT

The subject site is a 0.36-acre parcel on the northeast corner of Jeans Road and Territorial Road. See the vicinity map below.



The subject property is the site of an existing drive-through coffee shop. On May 3rd, 1994, the site received approval of a Temporary Use Permit for a 'drive-in espresso facility.' On July 5, 1994, the site received approval of a Site Plan Review for a 'drive-through espresso facility' (City

File No. SR-3-94). On June 4, 1999, the City approved an amendment to the original Site Plan Review to replace the existing 7' X 14' building with an 8' by 24' building (City File No. SR-2-99). There have been no land use approvals since, and the site has continually been in operation.

The site has vehicular access off of Territorial Road at the northwest corner of the site and off of Jeans Road at the south end of the site. There are currently no striped off-street parking spaces, but the applicant is proposing to stripe the two required off-street parking spaces, with one of said spaces being ADA-accessible. There is currently pedestrian and bicycle access off of the existing public sidewalk on Jeans Road. There is no sidewalk where the parcel fronts Territorial Road.

The subject site is zoned Community Commercial (CC). To the north and east are lots zoned Community Commercial (CC). To the south are lots zoned Industrial Commercial (IC). To the west are lots zoned Highway Commercial (HC).

To the north, east, and south are vacant lots. To the west, across Territorial Road, is the West Lane Shopping Center.

Wastewater

The site is currently served by City sewer.

Water

The site is currently served by City water.

Stormwater

Almost the entirety of the site is paved asphalt. There is no on-site or off-site stormwater detention and treatment facilities. The stormwater flows south, where it enters a catch basin on the corner of Jeans Road and Territorial, where it enters a City stormwater pipe and flows north for approximately 200 feet before it outfalls into the ditch along the east side of Territorial Road. From there, the stormwater flows approximately 300 feet further north and enters the Long Tom River.

PUBLIC NOTICE

Notice was mailed to all property owners and property addresses within 300 feet of the site on April 5, 2024. Notice was published in the *Eugene Register Guard* on April 10, 2024. Notice was posted at the site, Veneta City Hall, Fern Ridge Library, and on the City website on April 5, 2024. All public notice was done in accordance with Veneta Land Development Ordinance No. 493, Section 11.07(2).

APPROVAL CRITERIA

Veneta Land Development Ordinance No. 493, Section 6.05 – Approval Criteria.

REFERRAL COMMENTS

Referral comments were received from Lane County Transportation Planning and from the City Engineer. These are attached as Exhibits D and E, respectively.

PUBLIC COMMENT

Staff has not received any public comment at the time of writing this report.

ISSUES

The following issues have been raised concerning the proposal:

Lane County Transportation Planning

Lane County, which has jurisdiction over Territorial Road, provided the following comments:

LC 15.137(3) states that for properties with frontage on two or more roads, access will be limited to the intersecting street with the lower functional classification as defined in LC 15.020(2). If the functional class is the same or undetermined for either road, access must be taken from the road with the lowest expected traffic volume. The County Engineer may make specific exceptions when necessary to ensure safe and efficient travel.

This means access from Territorial Highway would need to be closed and the only access to and from the property would be from Jeans Road. In recognition of this being an established operation that does not have a documented history of safety concerns, and the fact that this proposal will not add a significant number of additional trips, Lane County would be willing to allow the Territorial Highway access to remain open with modifications to the Jeans Road access. Modifying Jeans Road to be right in/right out only would satisfy concerns the County has about this access location. Specifically, there are concerns surrounding turning movements both into and from the property because of the proximity to the Territorial Highway and Jeans Road intersection. Signage and pavement marking would be an acceptable remedy to modify the access.

Lane County has viewed evidence that indicates that some of the curbing on the subject property along Territorial Highway may be in disrepair. In the interest of encouraging patrons to utilize the two access points onto the property, Lane County requests that the curbing on the property along Territorial Highway be repaired or have some sort of barrier such as wheel stops placed where the curbing has deteriorated. This action would serve to formalize the existing access points.

To address these concerns, the County requested the two following conditions of approval:

- Per LC 15.137(3), in order to retain the second access, located on Territorial Highway, signage and pavement markings must be added to the Jeans Road access indicating that this access is only right turn in and right turn out.

- Repair the curb on the subject property along the property line that abuts Territorial Highway. In lieu of repairing the curb, other barriers may be acceptable such as wheel stops placed along the area where the curb is not continuous.

Staff recommends including these conditions in the final order (See Exhibit A).

ADA-Accessible Parking Spot

The City Engineer's findings stated that "the ADA parking stall needs to be a van-accessible stall per ORS 447.233 with a 9' wide stall and an 8' wide accessible aisle..." The proposed ADA-accessible parking space on the applicant's site plan shows an 82" (or 6' 10") wide van-accessible stall at its widest, with the stall narrowing down to 6' as it travels south. A condition of approval has been added to ensure that the applicant provides a stall in accordance with ORS 447.233 and Table 5.20(c) of the Veneta Land Development Ordinance No. 493.

Commercial Design Standards

Section 5.13 of the Veneta Land Development Ordinance No. 493 contains design standards for commercial and mixed-use developments. This request is for a commercial development in the Community Commercial zone, thus, these standards apply. The applicant is requesting adjustments to some of these standards, namely Sections 5.13(2)(C), 5.13(2)(H), and 5.13(2)(I). Adjustments to these standards are allowed, but may only be approved by the Planning Commission.

Section 5.13(2)(C) requires that all primary building entrances incorporate a pedestrian shelter. This can be achieved through features like recessed entrances, porches, stoops, overhangs, or other similar features. The proposed building does not contain a pedestrian shelter. However, this building is drive-through only, and is not open to the public. The applicant is requesting that the Planning Commission waive this requirement, and staff recommends the Commission do so, as a pedestrian shelter is not needed in this specific situation.

Section 5.13(2)(H) requires that all street-facing building elevations contain a 'break in the plane' at least once every 30 feet. This break can be achieved through building offsets, projections, overhangs, bays, arcades, balconies, dormers, towers, etc. The intent of this standard is to promote aesthetic and visual interest by breaking up large expanses of uninterrupted walls. The proposed building does not contain such a break in the plane, however, it is only 32 feet long. The applicant is requesting that the Planning Commission waive this requirement, and staff recommends the Commission do so, as the proposed building does not contain an excessive amount of uninterrupted building surface, and only slightly exceeds the 30-foot requirement.

Section 5.13(2)(I) requires that all street-facing building elevations have openings (windows, doors, balconies, etc.) that cover 60% of the building's elevation. An exception is allowed when a building faces more than one street, in which case the standard can be reduced to 30%. The proposed building will face two streets, Territorial Road and Jeans Road. The applicant meets

the 30% standard on the secondary street (Jeans Road), but the building elevation facing Territorial Road contains only 34% windows. The intent of this section is to promote aesthetic and visual interest and to promote a kind of ‘natural surveillance’ of the street from the insides of buildings. The applicant is requesting the Commission accept the reduction, and staff recommends the Commission do so. The building is a drive-through, and as such, the employees will consistently be at and looking out of the window onto Territorial Road, achieving the intent to promote natural surveillance.

STAFF RECOMMENDATION

Based on the findings for the Site Plan Review request stated in the Proposed Final Order, Staff recommends **conditional approval** of the Site Plan Review request. The proposed conditions of approval are specified in the Proposed Final Order (Exhibit A).

POSSIBLE ACTIONS BY THE PLANNING COMMISSION

1. Approve the Site Plan Review with specified conditions of approval based on the findings in the Proposed Final Order
2. Modify the proposed findings or conditions of approval in the Proposed Final Order.
3. Deny the Site Plan Review based on the Commission’s findings.
4. Continue deliberations on the Site Plan Review request if more information is needed.

EXHIBITS

Exhibit A – Proposed Final Order

Exhibit B – Applicant’s Site Plan

Exhibit C – Applicant’s Submittal

Exhibit D – Lane County Transportation Planning Comments

Exhibit E – City Engineer Comments

Exhibit A

**FINAL ORDER
OF THE
VENETA PLANNING COMMISSION**

**Hillbilly Brews Expansion Site Plan Review
(File No. SR-4-23)**

A. The Veneta Planning Commission finds the following:

1. The Veneta Planning Commission has reviewed all material relevant to the application which has been submitted by the applicant, staff, and the general public regarding this matter after providing proper notice of the public hearing according to Section 11.07 of the Veneta Land Development Ordinance No. 493.
2. The Veneta Planning Commission held a meeting on May 7, 2024 to discuss the Site Plan Review application (SR-4-23) in accordance with Section 11.07 of the Veneta Land Development Ordinance No. 493.
3. The Veneta Planning Commission followed the required procedure and standards for approving the Site Plan Review as required by Article 6 of the Veneta Land Development Ordinance No. 493.

B. The Veneta Planning Commission APPROVES with conditions the Hillbilly Brews Expansion Site Plan Review (SR-4-23). The applicant shall comply with the following conditions of approval:

GENERAL CONDITIONS OF APPROVAL:

1. The City of Veneta application and approval process does not take the place of, or relieve the Applicant of responsibility for, acquiring such other permits, or satisfy any restrictions or conditions thereon. This approval process does not remove, alter, or impair in any way any covenants or restrictions imposed on this property by deed or other instrument.
2. The applicant is herein advised that the use of the property involved in this application may require additional permits from the City or other local, County, State and Federal agencies.
3. If the applicant intends to install signage at the site, the applicant shall do so in accordance with Veneta Land Development Ordinance No. 493 Section 5.15 and receive a Sign Permit from the City for any sign that requires one.

PRIOR TO ISSUANCE OF BUILDING PERMITS

4. Prior to issuance of building permits, the applicant shall submit and receive approval by the City of a Final Utility Site Plan showing all existing and proposed utilities and connections to public water, sewer, stormwater, and power, including all other above-ground and underground utilities within and directly adjacent to the site.
5. Prior to issuance of building permits, the applicant shall submit and receive approval by the City of a Final Site Plan showing one (1) accessible parking space with a minimum 96"-wide access aisle in compliance with ORS 447.233 and Table 5.20(b) of the Veneta Land Development Ordinance No. 493.

PRIOR TO CERTIFICATE OF OCCUPANCY

6. Per LC 15.137(3), in order to retain the second access located on Territorial Highway, signage and pavement markings must be added to the Jeans Road access indicating that this access is only right turn in and out.
7. The applicant shall repair the curb on the subject property along the property line that abuts Territorial Highway. In lieu of repairing the curb, other barriers may be acceptable, such as wheel stops placed along the areas where the curb is not continuous.
8. Prior to issuance of a Certificate of Occupancy, the applicant shall plant groundcover species in accordance with Section 5.12(5) of the Veneta Land Development Ordinance No. 493, plant eight five-gallon shrubs or accent plants in accordance with Section 5.12(4) of the Veneta Land Development Ordinance No. 493, and shall install irrigation to the new landscaping in accordance with Section 5.12(6) of the Veneta Land Development Ordinance No. 493.
9. Prior to issuance of a Certificate of Occupancy, the applicant shall install a chain-link fence with sight-obscuring slats at the entrance of the existing garbage enclosure in accordance with the approved site plan and Section 5.12(8) and Section 5.12(9) of the Veneta Land Development Ordinance No. 493.
10. Prior to issuance of a Certificate of Occupancy, the applicant shall clearly and permanently mark all parking spaces.
11. Prior to issuance of a Certificate of Occupancy, the applicant shall install one (1) short-term bicycle parking space in accordance with VLDO 493 Section 5.20 and the approved site plan.
12. Prior to Certificate of Occupancy, the applicant shall clearly and permanently install ADA signage and striping for the one (1) required accessible parking space.

C. IT IS HEREBY ORDERED THAT the Veneta Planning Commission APPROVES with conditions the Site Plan Review for the Hillbilly Brews Expansion (SR-4-23) based on the information presented in the following findings of fact:

Ordinance language is in italics. Findings are in plain text.

Veneta Land Development Ordinance No. 493

Article 6 – Site Plan Review

Section 6.05 – Approval Criteria

- 1) *After an examination of the site and prior to approval of plans, the Planning Commission or Building and Planning Official must make the following findings:*
 - A. *That all provisions of city ordinances are complied with.*

Findings: As will be discussed and determined throughout these findings, the proposal meets the applicable provisions of City ordinances. In instances where conditions of approval are warranted and necessary, the findings related to that particular matter will be discussed and addressed under the relevant section of the Veneta Land Development Ordinance No. 493 or other applicable provisions of City ordinances.

- B. *That traffic congestion is avoided; pedestrian, bicycle and vehicular safety are protected; and future street right-of-way is protected.*

Lane County Transportation Planning Findings: LC 15.137(3) states that for properties with frontage on two or more roads, access will be limited to the intersecting street with the lower functional classifications as defined in LC 15.020(2). If the functional class is the same or undetermined for either road, access must be taken from the road with the lowest expected traffic volume. The County Engineer may make specific exceptions when necessary to ensure safe and efficient travel.

This means access from Territorial Highway would need to be closed and the only access to and from the property would be from Jeans Road. In recognition of this being an established operation that does not have a documented history of safety concerns, and the fact that this proposal will not add a significant number of additional trips, Lane County would be willing to allow the Territorial Highway access to remain open with modifications to the Jeans Road access. Modifying Jeans Road to be right in/right out only would satisfy concerns the County has about this access location. Specifically, there are concerns surrounding turning movements both into and from the property because of the proximity to the Territorial Highway and Jeans Road intersection. Signage and pavement marking would be an acceptable remedy to modify the access.

Lane County has viewed evidence that indicates some of the curbing on the subject property along Territorial Highway may be in disrepair. In the interest of encouraging patrons to utilize the two access points onto the property, Lane County requests that the curbing on the subject

property along Territorial Highway be repaired or have some sort of barrier such as wheel stops placed where the curbing has deteriorated. This action would serve to formalize the existing access points.

Findings: As discussed in the above findings from Lane County Transportation Planning, there are two transportation safety concerns. Lane County has requested the two following conditions of approval, and staff recommends including these conditions because they are the minimum necessary actions required to alleviate the transportation safety concerns.

Otherwise, as will be discussed in the relevant sections below, this criterion is met as conditioned. The applicant is proposing to provide the required number of parking spaces, ADA-accessible parking spaces, and bicycle parking spaces. The drive-through coffee kiosk provides the required 3 vehicle queueing/stacking spaces per window in accordance with Section 5.20, Table 5.20(c). There is no future street right-of-way currently required at this location.

Condition of Approval: Per LC 15.137(3), in order to retain the second access, located on Territorial Highway, signage and pavement markings must be added to the Jeans Road access indicating that this access is only right turn in and right turn out.

Condition of Approval: The applicant shall repair the curb on the subject property along the property line that abuts Territorial Highway. In lieu of repairing the curb other barriers may be acceptable such as wheel stops placed along the areas where the curb is not continuous.

C. That proposed signs or lighting will not, by size, location or color, interfere with traffic or limit visibility.

Findings: Not applicable as the applicant does not propose any new signage or lighting. A condition of approval will be added to ensure that if the applicant does intend to put up signage, it will be in compliance with VLDO 493 Section 5.15 – Signs.

Condition of Approval: If the applicant intends to install signage at the site, the applicant shall do so in accordance with Veneta Land Development Ordinance No. 493 Section 5.15 and receive a Sign Permit from the City for any sign that requires one.

D. That adequate water, sewer, and other required facilities, for the proposed use are available.

City Engineer's Findings: The site plan should show all existing and proposed utilities and connections to public water, sewer, and storm (if applicable), including all other above-ground and underground utilities within and directly adjacent to the site.

Findings: The use is currently being served by City water and sewer, and the proposed expansion is not expected to significantly increase the use of City water and sewer. The applicant does not propose to connect to the City's stormwater system. A condition of approval

has been added to ensure that the site plan shows all existing and proposed utilities.

Condition of Approval: Prior to issuance of any building permit, the applicant shall submit and receive approval by the City of a Final Utility Site Plan showing all existing and proposed utilities and connections to public water, sewer, stormwater, and power, including all other above-ground and underground utilities within and directly adjacent to the site.

E. That drainageways are protected, existing drainage patterns are maintained and drainage facilities are provided in accordance with Section 5.16 of this ordinance.

Findings: The existing drainage of the site will be maintained and the applicant will not be creating any new impervious surface, thus, this criterion is met.

F. That the extent of emissions and potential nuisance characteristics are reasonably compatible with the land use district, adjacent land uses and the standards of all applicable regulatory agencies having jurisdiction.

Findings: Other than typical vehicular traffic and vehicle idling sounds and emissions, there are no expected nuisance characteristics associate with the proposed use. Furthermore, the adjacent land uses are vacant lots to the north, east, and south, and a large shopping center over 250 feet to the west. Thus, there are no adjacent land uses that would be significantly affected if there were nuisance characteristics associated with the proposed use.

G. Where the applicant has requested an adjustment to Site Plan Review criteria (Type II Site Plan Review) pursuant to the Veneta Land Development Ordinance No. 493, the applicant shall identify all applicable criteria in this ordinance and specifically address each adjustment

Findings: The applicant has not requested any adjustments to the Site Plan Review criteria, apart from the adjustments to the Commercial and Mixed-Use Design Standards of Section 5.13. Said adjustments are discussed under the findings for VLDO 493 Section 6.05(2).

2) *Alternatives to the Commercial and Mixed Use Design Standards of Section 5.13, or Residential Design Standards of Section 5.29 or Off Street Parking Location Standards Section 5.20(3)(c) may be granted by the Planning Commission following a public hearing where the Commission finds that the alternative design:*

A. Meets the purpose and intent of the applicable design standard being adjusted

Findings: The applicant is requesting adjustments to Subsections (2)(C), (2)(H), and (2)(I) of Section 5.13. Subsection (2)(C) requires that all building entrances "incorporate pedestrian shelters (e.g., recessed entrance, porch, stoop, eave overhang, or similar feature) that provide adequate weather protection." The applicant is requesting that the Commission waive this requirement. The intent of this design standard is to keep pedestrians safe and dry via shelters

in front of building entrances. However, this building is not open to the public, and will have 2-3 employees at most on the site. A pedestrian shelter is thus not necessary in this situation. For these reasons, this criterion is met.

Subsection (2)(H) requires a 'break in the plane' on any street-facing building elevation longer than 30 feet. The elevation facing Territorial Road is 32 feet long. The applicant is requesting that the Commission waive this requirement. The intent of this section is to provide visual interest and articulation in building elevations that would otherwise be excessively long and monotonous. Given that the entire length of the building is only 32 feet, this standard is not necessary, and this criterion is met.

Subsection (2)(I) requires that all street-facing commercial building elevations have openings covering at least 60% of the elevation. When measured as a percentage of the lineal plane, the proposed building only has 34% of its street-facing elevation covered in windows. The applicant is requesting an adjustment to accept this amount of window coverage. The intent of this section is to provide visual interest to the streetscape and to encourage a kind of natural surveillance of the street from the interior of buildings. However, the employees will consistently be at the drive-through window, allowing a natural surveillance of the street. Additionally, the building is fairly small, meaning a smaller percentage of windows will not significantly affect the aesthetics of the building as it otherwise might in a larger building. For these reasons, this criterion is met.

B. Conforms with the design guidelines provided in Section 5.13 or 5.29 as applicable

Findings: As far as is practicable in the specific situation, the building conforms with the design guidelines in Section 5.13 as applicable.

C. Promotes pedestrian safety, convenience and comfort

Findings: The use currently is and will remain a drive-through only coffee kiosk. The building is not open to the public. Pedestrian traffic is expected to be very limited, if not completely nonexistent. The strict application of the design standards that are requested to be adjusted is not necessary in this specific situation. This criterion is met.

D. Contains architectural features substituting for code required features which are consistent with the overall design intent and composition of the building.

Findings: The proposed building is a 32' by 11.5' (368 square feet) pre-fabricated structure. The small nature of this building makes the strict application of code-required features unnecessary, and means that even a relatively plain and unadorned building will not significantly detract from the aesthetic and visual interest of the street-scape. Some of the architectural features of the proposed building are vertical panel siding, a pitched metal roof, and windows on each elevation. These architectural features are sufficient to provide aesthetic and visual interest to

the streetscape. This criterion is met.

E. *Maintains or enhances compatibility between new development and existing uses, including aesthetics and privacy for residential uses.*

Findings: There are no residential uses adjacent to or surrounding the subject site. The new building will be a replacement of an existing, smaller coffee kiosk, but it will not be large enough to significantly affect the aesthetics of the site itself and as it relates to surrounding sites. This criterion is met.

Article 4 – Use Zones

Section 4.06 – Community Commercial (CC)

1) *Purpose. To provide areas suitable and desirable for a wide range of small commercial and business facilities to serve the Fern Ridge community.*

Findings: The proposed use is the expansion of an existing drive-through coffee kiosk, which is consistent with the purpose of providing the Fern Ridge community with a variety of small commercial and business facilities.

2) *Uses Permitted Subject to Site Plan Review. The following uses and their accessory uses are permitted subject to the site plan review provisions of Article 6, provided all operations except off-street parking, recreational facilities, common areas (e.g., plazas), and permitted temporary activities associated with an allowed use shall be conducted entirely within an enclosed building (excludes drive-thru facilities):*
A. *All uses provided in Table 4.4 and similar uses as provided by Section 2.05*

Findings: The proposed use is allowed in the Community Commercial zone subject to a Conditional Use Permit. However, the use was approved through a Site Plan Review under an earlier version of the Veneta Land Development Ordinance No. 493 that only required a Site Plan Review for the use. The proposed use is an expansion of an existing use by greater than 10% of the structure's area, which requires a Site Plan Review under Section 6.01(2).

4) *Lot Size and Width. In the CC zone, minimum lot sizes and widths shall be as established in Table 4.3.*

Findings: The minimum lot size in the Community Commercial (CC) zone is 3,000 square feet, which the lot exceeds. The minimum lot width in the CC zone is 20 feet, which the lot exceeds.

5) *Yards. Except as provided in Articles 5, 6 and 8, and as required below, there are no minimum yards:*
A. *Front yards abutting a residential zone (RR/SFR/GR) shall be a minimum of twenty*

(20) feet.

- B. Back and side yards abutting a residential zone (RR/SFR/GR) shall be ten (10) feet.
- C. Yards for off-street parking areas shall be a minimum of five (5) feet; additional yard area may be required under Articles 5, 6, or 8; e.g., for clear vision and compatibility with abutting uses. This standard does not apply to parking spaces in driveways for individual dwellings, except that driveways shall be designed so that parked vehicles do not encroach into the public right-of-way.
- D. Yards shall be landscaped pursuant to Section 5.12. Up to eighty percent (80%) of the required yard may consist of hardscape features, subject to Site Plan Review.
- E. See Section 5.09 for additional setbacks on designated streets.
- F. Yard requirements are in addition to any planned road right-of-way widths in order to permit the eventual widening of streets.

Findings: The lot does not abut a residential zone, therefore, subsections A and B do not apply. The applicant's site plan shows a 5-foot setback for the two off-street parking spaces. Landscaping will be discussed further under the findings for Section 5.12. No additional setbacks are needed according to Section 5.09, and no future right-of-way is currently needed along Jeans Road or Territorial Road.

- 6) Lot Coverage. The maximum allowable lot coverage by buildings is seventy percent (70%). Up to eighty percent (80%) coverage may be approved for mixed-use developments incorporating residential and commercial uses. All lot areas not covered by development shall be landscaped pursuant to Section 5.12.

Findings: The size of the property is 15,682 square feet. The total square footage of all structures on-site will be 575 square feet, which comes out to a 3.6% lot coverage. This criterion is met.

- 7) Building Height. Except as provided in Articles 5, 6 and 8, the maximum building height is forty-five (45) feet; up to fifty-five (55) feet in height is allowed for mixed-use buildings that contain dwellings at a minimum density of twenty (20) units per acre; dwellings must be located above a ground floor commercial space that has a floor-to-ceiling height of at least fourteen (14) feet. See Table 4.3.

Findings: The proposed building will be 10' 7 1/2", which is below the maximum height of 45 feet.

- 8) Building Orientation and Design. All development, including new structures and exterior remodels to existing structures or developments, shall comply with the design standards in Section 5.13.

Findings: See findings for Section 5.13 further below.

9) *Pedestrian Access. A sidewalk shall provide safe, convenient pedestrian access from the street to the primary building entrance. If the sidewalk must cross a parking lot or driveway, it shall be paved, raised and/or marked in a manner that calls attention to the sidewalk.*

Findings: The commercial building is not open to the public via pedestrian access. The use as it exists and is proposed to continue is drive-through only. There is a marked pedestrian walkway from the ADA-accessible parking space to the building. This criterion is met.

Article 5 – Supplementary Provisions

Section 5.02 – Access

All lots shall be provided with access according to the standards of Section 13.10(3) of this ordinance.

Findings: Section 13.10(3)(B) requires that each parcel abut upon a street for a width of at least 50 feet. The subject site abuts Jeans Road for 95 feet and Territorial Road for 208 feet. This criterion is met.

Section 5.12 – Landscaping

All yards, required screening areas, and parking areas shall be landscaped in accordance with the following requirements:

3) *Minimum Landscaped Area. The minimum percentage of required landscaping is as follows:*

- A. *Residential and Residential-Commercial Zones: 20% of each lot for residential developments, 10% for commercial or mixed use.*
- B. *Community Commercial and Broadway Commercial Zones: 10% of the site.*
- C. *Highway Commercial Zone: 10 % of the site.*
- D. *Industrial Zones (IC, LI, MI): 5% of the site.*
- E. *When the above requirements conflict with landscaping requirements found elsewhere in this ordinance, the standard which maximizes landscaped area shall apply.*

Findings: The subject site's size is 15,682 square feet and the parcel is zoned Community Commercial (CC), which means that the minimum required landscaped area is 1,568 square feet. The applicant is proposing a total of 1,570 square feet of landscaping. The minimum amount of landscaping must be maintained in perpetuity. This criterion is met.

4) *Minimum number of trees and shrubs acceptable per 1,000 square feet of landscaped*

area:

- a. *One tree, minimum 2" caliper.*
- b. *Four 5-gallon shrubs or accent plants.*

Findings: 1,995 square feet of landscaping will require a minimum of 2 trees and 8 five-gallon shrubs or accent plants. There are two existing 8-inch caliper trees on-site. The applicant proposes to plant 8 five-gallon shrubs in the proposed landscaping strip along the east property line. A condition of approval has been added to ensure that the site is landscaped according to the standards of Section 5.12(4), and to the standards of Section 5.12 in general.

Condition of Approval: Prior to issuance of a Certificate of Occupancy, the applicant shall plant groundcover species in accordance with Section 5.12(5) of the Veneta Land Development Ordinance No. 493, plant eight five-gallon shrubs or accent plants in accordance with Section 5.12(4) of the Veneta Land Development Ordinance No. 493, and shall install irrigation to the new landscaping in accordance with Section 5.12(6) of the Veneta Land Development Ordinance No. 493.

- 5) *Minimum percentage Ground Cover. All landscaped area, whether or not required, that is not planted with trees and shrubs, or covered with non-plant material (subsections (6)(F) & (G), below), shall have ground cover plants that are sized and spaced to achieve 75% coverage of the area not covered by shrubs and tree canopy.*

Findings: The applicant is proposing 1,995 square feet of landscaping. Where landscaping is proposed, the groundcover is not specified. A condition of approval will be required to ensure that the applicant complies with the requirements of this section.

Condition of Approval: Prior to issuance of a Certificate of Occupancy, the applicant shall plant groundcover species in accordance with Section 5.12(5) of the Veneta Land Development Ordinance No. 493, plant eight five-gallon shrubs or accent plants in accordance with Section 5.12(4) of the Veneta Land Development Ordinance No. 493, and shall install irrigation to the new landscaping in accordance with Section 5.12(6) of the Veneta Land Development Ordinance No. 493.

- 6) *Landscape Materials. Permitted landscape materials include trees, shrubs, ground cover plants, non-plant ground covers, and outdoor hardscape features, as described below. "Coverage" is based on the projected size of the plants at maturity, i.e., typically three (3) or more years after planting.*
 - a. *Existing Vegetation. Existing non-invasive vegetation may be used in meeting landscape requirements.*
 - b. *Plant Selection. A combination of deciduous and evergreen trees, shrubs, and ground covers shall be used for all planted areas, the selection of which shall be based on local climate, soil, exposure, water availability, and drainage conditions. Applicants are encouraged to select native plants which are drought tolerant to reduce the demand on the City's water supply.*

- c. Plant Establishment. Unless a certified landscape architect specifically recommends otherwise, all new landscaping shall be irrigated for a minimum of two (2) years to ensure viability.
- d. Soil amendment. When new vegetation (including sod) is planted, topsoil shall be added and/or soils amended or aerated as necessary, to allow for healthy plant growth. Compaction of the planting area shall be minimized whenever practical and compacted soils shall be amended and/or aerated as necessary prior to planting.
- e. "Invasive" plants, shall be removed during site development and the planting of new invasive species is prohibited. Lists of locally invasive species are available through the local USDA extension office.
- f. Hardscape features, May cover up to ten percent (10%) of the required landscape area; except in the Downtown Area where publicly accessible hardscape features may cover up to eighty percent (80%) of the required landscape area, subject to approval through Site Plan Review. Swimming pools, sports courts, and similar active recreation facilities, as well as paving for parking and access, may not be counted toward fulfilling the landscape requirement.
- g. Non-plant Ground Covers. Bark dust, chips, aggregate, or other non-plant ground covers may be used, but shall cover no more than 25 percent of the area to be landscaped and shall be confined to areas underneath plants. Non-plant ground covers cannot be a substitute for ground cover plants.

Findings: All new landscaping will require irrigation for a minimum of two years in order to ensure viability. A condition of approval has been added to ensure this happens.

Condition of Approval: Prior to issuance of a Certificate of Occupancy, the applicant shall plant groundcover species in accordance with Section 5.12(5) of the Veneta Land Development Ordinance No. 493, plant eight five-gallon shrubs or accent plants in accordance with Section 5.12(4) of the Veneta Land Development Ordinance No. 493, and shall install irrigation to the new landscaping in accordance with Section 5.12(6) of the Veneta Land Development Ordinance No. 493.

- 7) *Multi-family sites and parking lots shall be screened from abutting single-family land uses by a combination of sight-obscuring fences, walls and landscaping adequate to provide privacy and separation for the abutting land use.*

Findings: Not applicable as there are no single-family land uses abutting the site.

- 8) *Garbage collection areas, service facilities and air conditioning facilities located outside the building shall have sight-obscuring screening. Mechanical equipment, lights, emissions, shipping/receiving areas, and garbage collection areas for industrial, commercial, and public facility uses shall be located away from residential areas, schools, and parks.*
- 9) *When a sight-obscuring fence, wall, or hedge is required under the provisions of this*

ordinance, it must meet the following provisions:

- a. In order to be “sight-obscuring”, fences and walls must be at least 75 percent opaque when viewed from any angle at a point 25 feet away from the fence or wall. Hedges shall be of an evergreen species which will meet and maintain year-round the same standard within three (3) years of planting. Creative use of deciduous hedge materials may be proposed to provide screening in conjunction with wider planting areas. Deciduous hedges may be approved on a case by case basis as the sole discretion of the Planning Official.*
- b. Fences and walls must be maintained in a safe condition and opacity must be maintained. Wooden materials shall be protected from rot, decay and insect infestation. Plants forming hedges must be replaced within six (6) months after dying or becoming diseased to the point that the opacity required is not met.*

Findings: There is an existing garbage enclosure at the northeast corner of the site. The applicant is proposing to install a new chain link fence with sight-obscuring slats at the entrance of the garbage enclosure. A condition of approval has been added to ensure that this standard is met.

Condition of Approval: Prior to issuance of a Certificate of Occupancy, the applicant shall install a chain-link fence with sight-obscuring slats at the entrance of the existing garbage enclosure in accordance with the approved site plan and Section 5.12(8) and Section 5.12(9) of the Veneta Land Development Ordinance No. 493.

10) When adjacent land uses are of a different type and the proposed use may impact the adjacent land uses, the Building and Planning Official or Planning Commission may require sight-obscuring fencing, walls, and/or landscaping. In order to provide appropriate buffering and screening, the Building and Planning Official or Planning Commission may increase the required yard dimension.

Findings: The adjacent lots are all commercial. This criterion is not applicable.

11) All stormwater detention facilities shall be landscaped according to City standards.

Findings: No stormwater detention facility proposed or required. This criterion is not applicable.

Section 5.13 – Commercial and Mixed-Use Design Standards

1) Purpose and Applicability. The following standards are minimum requirements for new developments that are subject to Site Plan Review or Planned Unit Development approval in the RC, BC and CC zones. The standards are intended to protect and enhance the appearance, safety, and economy of Veneta through appropriate building and site plan regulations. The standards may be adjusted by the Planning Commission through

the Type III Site Plan Review process (see Section 6.05(2))

Findings: The proposed expansion is located in the CC zone and is subject to the requirements of Section 5.13.

- 2) *Standards. This section provides minimum standards for site and building design in the RC, BC and CC zones. The standards are administered through Site Plan Review under Article 6. Graphics labeled "RC," "BC", and "CC" respectively, apply to the RC, BC, and CC zones. The graphics serve as references only; they are conceptual and are not intended to prescribe a particular architectural style. Examples of compliant development, and guidelines for adjustments, are contained in subsection 5.13(3).*
 - A. *New commercial and mixed-use buildings in the BC or RC zone shall have their primary entrances facing and within twenty (20) feet of a street right-of-way; except the standard does not apply to: individual residential units in a mixed-use building; buildings where the primary entrance orients to a pedestrian plaza between a building entrance and street right-of-way; or where additional setback is required under other code provisions (e.g., clear vision areas).*
 - B. *Commercial, mixed-use, and public buildings on corner lots along West Broadway Avenue shall have their primary entrances oriented to the street corner; or where corner entrance placement is not practical due to internal building functions, existing conditions of the site, or other relevant circumstances unique to the proposed use, the decision-making body may approve an alternative design without requiring approval of a separate adjustment. In such case, the building corner shall be chamfered or have other architectural detailing that appropriately emphasizes the corner location.*

Findings: The proposed use is located within the Community Commercial zone. These criteria are not applicable.

- C. *Building entrances shall incorporate pedestrian shelters (e.g., recessed entrance, porch, stoop, eave overhang, or similar feature) that provide adequate weather protection (e.g., shelter from rain over a portion of the sidewalk); individual pedestrian shelters shall be at least forty-eight (48) inches in width and thirty-six (36) inches in depth.*

Findings: The applicant is requesting an adjustment to this standard to permit the building to not include a pedestrian shelter at the primary building entrance. See the findings for Section 6.05(2) for further discussion.

- D. *The design of multi-story commercial and mixed-use buildings shall clearly define the building's base, middle and top (see figure 5.13(a)). This may be accomplished with changes in materials, placement of windows, porches, canopies, dormers, eaves, bellyband, cornice, parapet or similar features, with appropriate detailing such as changes in patterns, and/or textures on exterior elevations. The design of single story*

buildings need not separately define the building base and middle but the top of the building shall be defined and distinguished from the rest of the building, for example, with eaves, parapet, cornice, or similar detailing.

Findings: The proposed building is a single story tall. The top of the building is defined and distinguished from the rest of the building through the use of a pitched roof with eaves and a different material than the siding. This criterion is met.

E. *Designs for buildings longer than fifty (50) feet shall incorporate varying roof lines, such as gables, sheds or dormers on pitched roofs, and stepped parapets, cornices or similar features on flat roofs, to break down the elevation into smaller modules and to reduce the perceived scale of the building.*

Findings: The proposed building is not longer than 50 feet. This criterion is not applicable.

F. *Building height shall transition from taller buildings to adjacent shorter buildings. For buildings sharing a common wall, this standard is met when the height of the taller building does not exceed the height of the shorter building by more than ten feet (10 ft) within a horizontal distance of ten feet (10 ft) from where the two buildings share a common wall. Beyond the ten-foot area, the taller building may increase in height one foot (1 ft) for every one foot (1 ft) of additional distance separating the two buildings. For example, at a distance of twelve feet (12 ft) from the common wall, the taller building may be twelve feet (12 ft) taller than the abutting building.*

Findings: There are no buildings closer than 100 feet to the proposed building. This criterion is not applicable.

G. *Roof-mounted equipment shall be screened so that it is not visible, or is visually subordinate to the primary roof form, as viewed from adjacent public ways. Solar panels and mini-wind turbines may project beyond roof elevations when approved through Site Plan Review. See also, Section 5.10 Exceptions to Building Height Limitations.*

Findings: No roof-mounted equipment is proposed. This criterion is not applicable.

H. *Building elevations facing a street, plaza, or similar public or quasi-public space shall be broken down into smaller planes to promote pedestrian scale and compatibility with adjacent uses. Building planes shall not exceed 500 square feet of uninterrupted surface area in the RC, CC, and/or BC zones. A break in plane is an offset, projection or recess of at least one (1) foot in depth over a width of at least four (4) feet of horizontal distance. Such breaks shall occur at least once every 30 lineal feet of a building's street-facing elevation(s). A break may occur in one or more of the following ways, as appropriate to the overall composition and design of the building: offsets, projections, overhangs; bays, arcades, alcoves; entries, balconies, porches,*

window reveals; dormers, towers, cupolas; pergolas, arbors or similar planter boxes integrated into a building elevation; belt course, eaves, pillars, posts, and base materials; or similar features and detailing that contribute to the building's overall composition (see figure 5.13(b)).

Findings: This section requires a break in the plane of a building elevation at least once every 30 lineal feet of a building's street-facing elevation. Where the building faces Territorial Road, it is 32 feet long, which would require a break in the plane. The applicant is requesting this standard be adjusted to not require this break in the plane. See the findings for Section 6.05(2) for further discussion of this request for adjustment.

- I. All commercial building elevations in the RC, BC, and CC zones facing a street, plaza, or other public or quasi-public space shall have openings (transparent windows, doors, balconies, etc.) covering not less than sixty percent (60%) percent of such elevations. Windows shall be sized/proportioned, shaped, placed/spaced, and trimmed consistent with the building's overall architecture; and meet the intent, which is to provide visual interest from the outside of a building and natural surveillance from the inside, at a pedestrian level. Exception: Where a building faces more than one street, as on a corner, the above standard applies only on the elevation facing the primary street (i.e., Broadway, Territorial, or an internal driveway designed to substitute for a street). The standard is reduced by one-half for an elevation facing a secondary street.*

Findings: The applicant is requesting an adjustment to this standard, as the building elevation that faces Territorial Road is only 34% covered with windows when measured as a percentage of the lineal plane. See the findings for Section 6.05(2) for further discussion of this request for adjustment.

- J. In the RC, BC and CC zones, a weather-protection canopy, awning, overhang, eave, or similar feature with a depth of not less than four (4) feet shall extend across at least seventy-five percent (75%) of all building elevations that are adjacent to a sidewalk, outdoor seating area, walkway, plaza or similar pedestrian space, as determined by the Building and Planning Official. The pedestrian shelter must be placed at a height that achieves the intended purpose of providing weather protection, summer shade and shelter from the rain (see figure 5.13(c)).*

Findings: The proposed building will not be adjacent to a sidewalk, outdoor seating area, walkway, plaza, or similar pedestrian space.

- K. Primary exterior materials shall be consistent with the overall design composition and intent of a building design. Materials shall consist of durable wood, composites (e.g., concrete fiber-board or similar materials that has a wood appearance), brick, split-face or rusticated concrete block (must be tinted), natural stone, or materials of similar appearance and durability. Vinyl or metal may be used on the exterior, but*

may not be used as the primary cladding material. Where metal is used, it shall be non-reflective split seam or similar metal. Metal may also be used for exterior detailing (e.g., wainscoting, flashing, brackets, etc.) and for renewable energy, energy efficiency, or water conservation systems (e.g., solar panels and cells, mini-wind turbines, rainwater harvesting, etc.), subject to Site Plan Review. Figure 5.13(b)

Findings: The building materials will have a similar appearance and durability to the materials listed in this section. The building will have a vertical panel siding that is painted brown and has the appearance of wood. The roof of the building is metal, but this is acceptable to staff as this is not the primary cladding material. This criterion is met.

- L. *Where new off-street parking is to be provided in the RC, BC, and CC zones, it shall not be located between a buildings' primary entrance and any street, except as approved through Type II Site Plan Review. (See figure 5.13(d)).*

Findings: The proposed use will not contain any off-street parking between the building's primary entrance and the street. This criterion is met.

- M. *Where alleys exist or can reasonably be extended to serve development, parking areas shall be accessed from alleys. Where alley access is not feasible, access may be provided from a private driveway (see figure 5.13(d) above). Curb openings shall be minimized by combining and sharing driveways to the greatest extent practicable. See also, Section 5.24 Access Management.*

Findings: There are no alleys adjacent or in the area of the subject site. This criterion is not applicable.

- N. *Drive-Up/Drive-In/Drive-Through Uses and Facilities, where permitted, shall conform to the provisions of Section 8.11 (16).*

Findings: The proposed use is a drive-through, but was approved before drive-throughs were changed from a permitted use to a conditional use. The criteria of Section 8.11(16) only apply when an applicant is seeking a Conditional Use Permit, which is not required in this case. Thus, these criteria do not apply.

Section 5.16 – Stormwater Detention and Treatment

As the City of Veneta develops, impervious surfaces create increased amounts of stormwater runoff, disrupting the natural hydrologic cycle. Without stormwater management, these conditions decrease groundwater recharge while increasing channel erosion and the potential for localized flooding. The City continues to use swales and other more natural methods to control and convey stormwater run-off, incorporating wetlands and other natural systems into

stormwater drainage plans to the greatest extent possible rather than relying exclusively on pipes. Runoff from urban areas is a major source of pollution and watershed degradation. The City is currently a Designated Management Agency (DMA) under the Willamette Basin TMDL and as such, is responsible for reducing pollutant loads transported to surface waters from runoff. In order to protect and enhance watershed health and long-term livability, the City requires that development comply with the following stormwater management criteria.

- 1) For all projects that create greater than or equal to 1000 square feet of new impervious surface, stormwater detention and treatment facilities shall be provided. Detention and treatment facilities shall be designed and sized according to the City of Portland Stormwater Management Manual, Revision #4, August 1, 2008 which is adopted as the City's Stormwater Management Manual. Where the manual and this section conflict, this section shall prevail.
- 2) The intent of these requirements is as follows:
 - A. To maintain runoff peak flows at predevelopment levels
 - B. To provide treatment of runoff to limit the transport of pollutants to area waterways.
 - C. To limit accumulation of ponded water by discouraging the use of detention ponds and other centralized stormwater facilities through the dispersal of small detention and treatment facilities throughout a development. Preference shall be given to detention and treatment systems designed to drain completely within 24 hours to limit standing water.
 - D. To encourage the use of vegetated treatment systems over structural pollution control devices.
- 3) Exceptions or alternatives to the requirements and standards of the Stormwater Management Manual may be allowed by the City Engineer based on specific site conditions provided that detention and treatment requirements are met in conformance with the intent as stated above. Applicants are encouraged to use either the Simplified Approach or Presumptive Approach to size facilities.
- 4) The following storm data (Eugene Airport) shall be used in sizing facilities.

24-HOUR RAINFALL DEPTHS

Recurrence Interval, Years	2	5	10	25	100
Flood Control, Destination: 24-Hour Depths, Inches	3.12	3.6	4.46	5.18	6.48

Pollution Reduction: 24-Hour Depths, 1.4 Inches

Findings: The proposed use will not create greater than 1,000 square feet of new impervious surface. This section does not apply.

Section 5.20 – Off-Street Parking Requirements

For each new structure or use, each structure or use increased in area and each change in the use of an existing structure, there shall be provided and maintained off-street parking areas in conformance with the provisions of this section.

- 2) *Design and improvement requirements for parking lots (not including single-family or multi-family dwellings).*
 - A. *All required parking lots, driveways, and driveway approaches shall be surfaced with two (2) inches of asphaltic concrete, six (6) inches Portland Cement concrete over approved base, or other materials approved by the City Engineer which are designed to reduce or slow rates of stormwater runoff. All parking lots shall be graded so as not to drain storm water over the sidewalk or onto any abutting property.*

Findings: The site is currently paved and the grading and drainage is not proposed to be changed. The site does not currently drain stormwater over the sidewalk or onto an abutting property. This criterion is met.

- B. *Service drives and parking spaces on surfaced parking lots shall be clearly and permanently marked. Parking spaces, except for handicap spaces, shall have a minimum dimension of eighteen (18)' X nine (9)' exclusive of maneuvering and access area. The dimension includes the area in front of the curb stop over which the front of a vehicle would extend. Handicap spaces shall be provided as required by the Oregon State Structural Specialty Code.*

Findings: A condition of approval will be added to ensure that the parking spaces are clearly and permanently marked.

Condition of Approval: Prior to issuance of a Certificate of Occupancy, the applicant shall clearly and permanently mark all parking spaces.

- C. *Parking lots shall be served by a service driveway so that no backing movements or other maneuvering within a street other than an alley shall be required. Design for parking arrangements and turning movements shall be approved by the Building and Planning Official. Two-way driveways shall have a minimum width of twenty (20) feet and a maximum width of 30 feet. One-way driveways shall have a minimum width of twelve (12) feet and a maximum width of sixteen (16) feet.*

Findings: All service driveways on the site are a minimum of 20 feet wide. This criterion is met.

- D. *Parking spaces along the outer boundaries of a parking area shall be contained by a curb or bumper so placed to prevent a motor vehicle from extending over the property line.*

Findings: The applicant is not proposing any parking spaces along the edge of a property line.

E. *Service driveways to off-street parking lots shall be designed and constructed to facilitate the flow of traffic, provide maximum safety of traffic access and egress and maximum safety of pedestrian and vehicular traffic on the site. The number of service driveways shall be limited to the minimum that will allow the property to accommodate and service the traffic anticipated.*

Findings: Almost the entirety of the site is paved, allowing for a wide range of vehicular circulation and maneuvers.

F. *All off-street parking lots within or abutting residential districts or uses shall be provided with a sight-obscuring fence, wall or hedge as approved by the Building and Planning Official to minimize disturbances to adjacent residents.*

Findings: The site does not abut and is not within a residential district. This criterion is not applicable.

G. *A grading structure and drainage plan shall be submitted to the City Building and Planning Official and approved by the City Engineer.*

Findings: The applicant is not proposing to change the existing grading and drainage of the site. This criterion is not applicable.

H. *Parking lots shall be provided with landscaping as provided in Section 5.12 and other suitable devices in order to divide the parking lot into sub-units to provide for pedestrian safety, traffic control and to improve the appearance of the parking lot. A minimum of one shade tree per sixteen (16) parking spaces shall be provided in planter islands distributed throughout the lot. A maximum of twenty (20) spaces shall be allowed between planter islands.*

Findings: Only two off-street parking spaces will be provided, less than the minimum of 16 spaces before a tree is required. This criterion is not applicable.

I. *Parking lot lighting must comply with Veneta Municipal Code Chapter 15.15*

Findings: No parking lot lighting proposed. This criterion is not applicable.

3) *Location standards for parking lots.*

A. *Off-street parking shall be provided for development in all zones. Off street parking areas may be located no farther than 400 feet from the building or use they are required to serve, with the exception of uses within the Broadway Commercial (BC) zone which are subject to the requirements of Section 4.05(11).*

B. *Parking lots and loading docks for new public, and semi-public buildings shall be located to the side or rear of the building, except as approved through Type II Site*

Plan Review.

C. *Loading docks for new commercial, industrial, public, and semi-public buildings shall be located to the side or rear of the building.*

Findings: The off-street parking spaces are not located further than 400 feet from the building. The off-street parking spaces are proposed to be to the side of the building, along the east edge of the property. No loading docks are proposed. This criterion is met.

4) *Required parking spaces shall be available for the parking of operable motor vehicles for residents, customers, patrons and employees only and shall not be used for storage of vehicles, materials, or for repair or servicing.*

Findings: The required parking spaces on-site shall not be used for storage of vehicles, materials, or for repair or servicing.

5) *The provision and maintenance of off-street parking spaces are continuing obligations of the property owner. No building or other permit shall be issued until plans are presented that show parking space. The subsequent use of property for which the permit is issued shall be conditional upon the unqualified continuance and availability of the amount of parking area required by this ordinance.*

Findings: The provision and maintenance of off-street parking spaces will be a continuing obligation of the property owner.

6) *Should the owner or occupant of a lot or building change the use of the property to a use which increases the off-street parking requirements, it shall be unlawful and a violation of this ordinance to begin to maintain such altered use until the required increase in off-street parking is provided. The Building and Planning Official or Planning Commission may require a Site Plan Review if the increase in parking significantly changes on-site circulation, creates additional impervious surface or requires additional landscaping.*

Findings: The applicant is not proposing to change the current use of the site.

7) *In the event several uses occupy a single structure or parcel of land, the total requirements for off-street parking shall be the sum of the requirements of the several uses computed separately. Where the uses have the ability to share parking and a shared parking agreement is approved through Site Plan Review, the total requirements for all uses and locations shall be computed. The decision-making body may reduce the sum requirement based on off-peak parking demands (shared parking) under subsection 5.20 (3) (a).*

Findings: Not applicable to this request. There is only one use on the site.

8) *A system of joint use driveways, sidewalks, and cross access easements shall be*

established for commercial and office properties wherever feasible and shall incorporate the following:

- A. *A design speed of ten (10) mph and a maximum width of twenty (20) feet to accommodate two-way travel aisles designed to accommodate automobiles, service vehicles, and loading vehicles.*
- B. *A unified access and circulation plan for coordinated or shared parking areas.*
Pursuant to this section, property owners shall:
 1. *Record an easement with the deed allowing cross access to and from other properties served by the joint use driveways, sidewalks, and cross access or service drive;*
 2. *Record a joint maintenance agreement with the deed defining maintenance responsibilities of property owners.*

Findings: Not applicable to this request.

- 9) *A plan, drawn to scale, indicating how the off-street parking requirements are to be fulfilled, shall accompany a request for a building permit.*

Findings: Not applicable to this request. The off-street parking requirements are shown on a plan drawn to scale as part of a Site Plan Review request.

- 10) *The Building and Planning Official or the Planning Commission may approve the use of on-street parking spaces in lieu of required off-street parking spaces in the Broadway Commercial, Community Commercial, Residential-Commercial, Industrial-Commercial and Public Facilities & Park zones.*

Findings: A reduction in the number of required off-street parking spaces is not being requested, and on-street parking is not allowed on Jeans Road or Territorial Road. This criterion is not applicable.

- 11) *Space requirements for off-street parking shall be consistent with Table 5.20(a) below. Fractional space requirements shall be counted as a whole space. When square feet are specified, the area measured shall be the gross floor area of all buildings but shall exclude any space within a building used for off-street parking, loading or service functions not primary to the use. When the requirements are based on the number of employees, the number counted shall be those working on the premises during the largest shift at peak season. A reduction in the number of required spaces not to exceed (fifty) 50% of the required spaces may be permitted by the Planning Commission. A reduction in excess of 50% may be permitted through a Type II Site Plan Review, pursuant to Article 6, if evidence is provided to show that a reduced amount of parking is sufficient and will not cause any detrimental impacts to on-street parking or other parking areas. For example, an employer working with Lane Transit District to provide bus passes to employees or who offers van pools or other transportation demand management measures may need fewer parking spaces for employees.*

Table 5.20(a) Off-Street Parking Requirements			
Use Categories	Motor Vehicle Parking Requirement	Bicycle Parking Requirement	Type and % Bicycle Parking
Eating or Drinking Establishments	One (1) space per 200 square feet of floor area	1 per 600 sf/FA	25% LT / 75% ST

Findings: The floor area of the proposed structure is 358 square feet. Since fractional space requirements are counted as a whole space, that means a total of 2 vehicle parking spaces are required. The applicant is proposing two parking spaces.

The applicant is also required to put in 1 short-term bicycle parking space. The applicant's site plan shows one bicycle parking space. A condition of approval has been added to ensure that bicycle parking is provided.

Condition of Approval: Prior to issuance of a Certificate of Occupancy, the applicant shall install one (1) short-term bicycle parking space in accordance with VLDO 493 Section 5.20 and the approved site plan.

12) Accessible Parking Spaces. Parking shall be provided for disabled persons, in accordance with the Americans with Disabilities Act. Accessible parking is included in the minimum number of required parking spaces listed in Table 5.20(b).

Table 5.20(b) Minimum Accessible Parking Requirements			
Total Number of Parking Spaces Required	Total Minimum Number of Accessible Parking Spaces (60" and 96" aisles)	Van Accessible Parking Spaces with min. 96" wide access aisle	Accessible Parking Spaces with min. 60" wide access aisle
1 to 25	1	1	0

City Engineer's Findings: The ADA parking stall needs to be a van-accessible stall per ORS 447.233 with a 9'-wide stall and 8'-wide accessible aisle showing grade callouts that meet all ADA requirements.

Findings: The number of parking spaces proposed to be provided is 2, meaning that one of the spaces must be an ADA-accessible space with a minimum 96"-wide access aisle. The applicant is proposing 1 ADA-accessible space with an 82"-wide access aisle. A condition of approval has been added to ensure the applicant provides an ADA-accessible parking space with the dimensions required by ORS 447.233 and Table 5.20(b).

Condition of Approval: Prior to issuance of any building permit, the applicant shall submit and receive approval by the City of a Final Site Plan showing one (1) accessible parking space with a

minimum 96"-wide access aisle in compliance with ORS 447.233 and Table 5.20(b) of the Veneta Land Development Ordinance No. 493.

Condition of Approval: Prior to Certificate of Occupancy, the applicant shall clearly and permanently install ADA signage and striping for the one (1) required accessible parking space.

15) Stacking and Queuing Areas. Apply to all developments that involve queuing of vehicles, loading and unloading of goods, materials, or people. All queuing areas are required to have an area for vehicle stacking to prevent or minimize congestion of public streets. Examples of uses include but are not limited to schools and drive-through services such as banks, car washes, and coffee stands. A stacking space shall be a minimum of nine feet (9') in width and 20' in length and shall not be located within or interfere with any other circulation driveway, parking space, fire lane, or maneuvering area. In all zoning districts where queuing of vehicles is necessary, vehicle stacking spaces shall be provided in the manner set forth in the following list of property uses:

<i>Table 5.20(c) Vehicle Stacking and Queuing Requirements</i>	
<i>Use Category</i>	<i>Vehicle Stacking Requirements</i>
<i>Coffee Kiosk</i>	<i>Three (3) stacking spaces per window or service lane</i>

Findings: The proposed use is a coffee kiosk, which has a requirement of 3 stacking spaces per window or service lane. The proposed use will have two windows, which requires 3 stacking spaces at each window. The applicant's site plan shows 3 stacking spaces at each window. This criterion is met.

Section 5.22 – Pedestrian and Bicycle Access and Circulation

1) Internal pedestrian and bicycle circulation shall be provided within new commercial, office, and multifamily residential developments through the clustering of buildings, construction of hard surface pedestrian walkways, multi-use paths for shared pedestrian and bicycle travel, landscaping, or similar techniques.

Findings: The proposed use is not a new development, rather, an expansion of an existing use. Thus, this criterion does not apply.

2) Pedestrian and bicycle access to transit facilities shall be provided from new commercial, employment, and multi-family residential developments and new activity centers shall be provided while existing developments shall provide safe and accessible pedestrian and bicycle access to transit facilities when a site changes uses or is retrofitted.

Findings: There are no transit facilities adjacent to the subject site. This criterion is not applicable.

- 3) *Internal pedestrian and bicycle systems shall connect with external existing or planned systems. Pedestrian access from public sidewalks to the main entrances of public, semi-public, commercial, and multi-family buildings shall not cross driveways or parking lots.*

Findings: The proposed use has pedestrian access off of Jeans Road to the south. The use is currently drive-through only, and the number of pedestrians is expected to be very few, if any. This criterion is met.

- 4) *All streets shall have sidewalks except rural local streets and rural lanes unless there is compelling evidence that other pedestrian systems meet the needs of pedestrians.*

Findings: There is sidewalk where the site fronts Jeans Road, but not where the site fronts Territorial Road. Territorial Road is under the jurisdiction of Lane County, who did not address the sidewalk issue in their referral comments. Since the City does not have jurisdiction over Territorial Road, and since the County did not request or require it, sidewalk is not necessary along Territorial Road.

- 5) *Compliance with the commercial design standards for and mixed-use, residential and commercial development, respectively, in Chapters 5.13 and 5.29, is required.*

Findings: See the findings under Section 5.13 above. This criterion is met.

- 6) *Safe, Direct, and Convenient. Walkways/paths within developments shall provide safe, reasonably direct, and convenient connections between primary building entrances and all adjacent streets and existing or planned transit stops, based on the following criteria:*
 - A. *Reasonably direct. A route that does not deviate unnecessarily from a straight line or a route that does not involve a significant amount of out-of-direction travel for likely users.*
 - B. *Safe and convenient. Routes that are reasonably free from hazards and provide a reasonably direct route of travel between destinations.*
 - C. *"Primary entrance" for commercial, industrial, mixed use, public, and institutional buildings is the main public entrance to the building. In the case where no public entrance exists, street connections shall be provided to the main employee entrance.*
 - D. *"Primary entrance" for residential buildings is the front door (i.e., facing the street). For multi-family buildings in which units do not have their own exterior entrance, the "primary entrance" may be a lobby, courtyard, or breezeway that serves as a common entrance for more than one dwelling.*

Findings: The proposed walkway from the ADA parking space leads directly west to the landscaped pad in front of the building entrance. This route is reasonably direct and leads to the primary building entrance. This criterion is met.

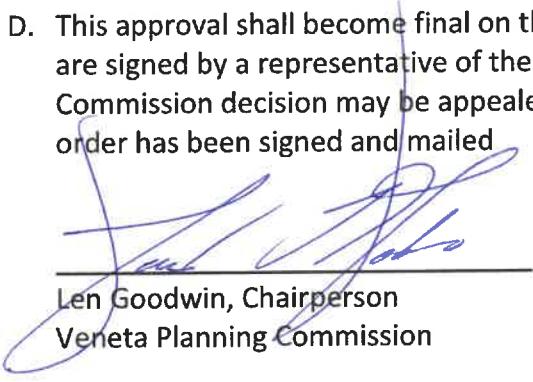
Section 5.27 – Traffic Impact Analysis and Mitigation

A Traffic Impact Analysis (TIA) and review is required when one of the following conditions exists:

- A. The development will generate more than 100 vehicle trips during the a.m. or p.m. peak hour as determined by using the most recent edition of the Institute of Transportation Engineer's Trip Generation Manual. In developments involving a land division, the peak hour trips shall be calculated based on the likely development that will occur on all lots resulting from the land division.
- B. The proposal is immediately adjacent to an intersection that is functioning at a level of service below LOS D, the City's minimum acceptable operating condition during the weekday peak hour.
- C. The Traffic Impact Analysis is required by the State or County due to increased traffic on a State or County road within the City's Urban Growth Boundary.
- D. The proposed use is expected to generate or receive traffic by vehicles exceeding 26,000 pounds gross vehicle weight as part of daily operations. "Daily operations" includes, but is not limited to, delivery to or from the site of materials or products processed, sold, or distributed by the business occupying the site. Trips associated with routine services provided to the site by others, such as mail delivery, garbage pickup, or bus service, are exempt from this provision.
- E. An access driveway that does not meet minimum intersection sight distance requirements, or is located where vehicles entering or leaving the property are restricted, or such vehicles queue or hesitate, creating a safety hazard.
- F. An access driveway that does not meet the access spacing standard of the roadway on which the driveway is located.
- G. A change in internal traffic patterns that may cause safety problems, such as back-up onto public streets or traffic conflicts in the approach area.

Findings: The proposal is an expansion of an existing use and is not expected to cause a significant increase in trips. Lane County provided referral comments and did not request or require a Traffic Impact Analysis. The proposed use is not expected to generate or receive traffic by vehicles exceeding 26,000 pounds gross vehicle weight as part of daily operations. The proposal does not require a Traffic Impact Analysis

- D. This approval shall become final on the date this decision and supporting findings of fact are signed by a representative of the Veneta Planning Commission below. A Planning Commission decision may be appealed to the City Council within 15 days after the final order has been signed and mailed

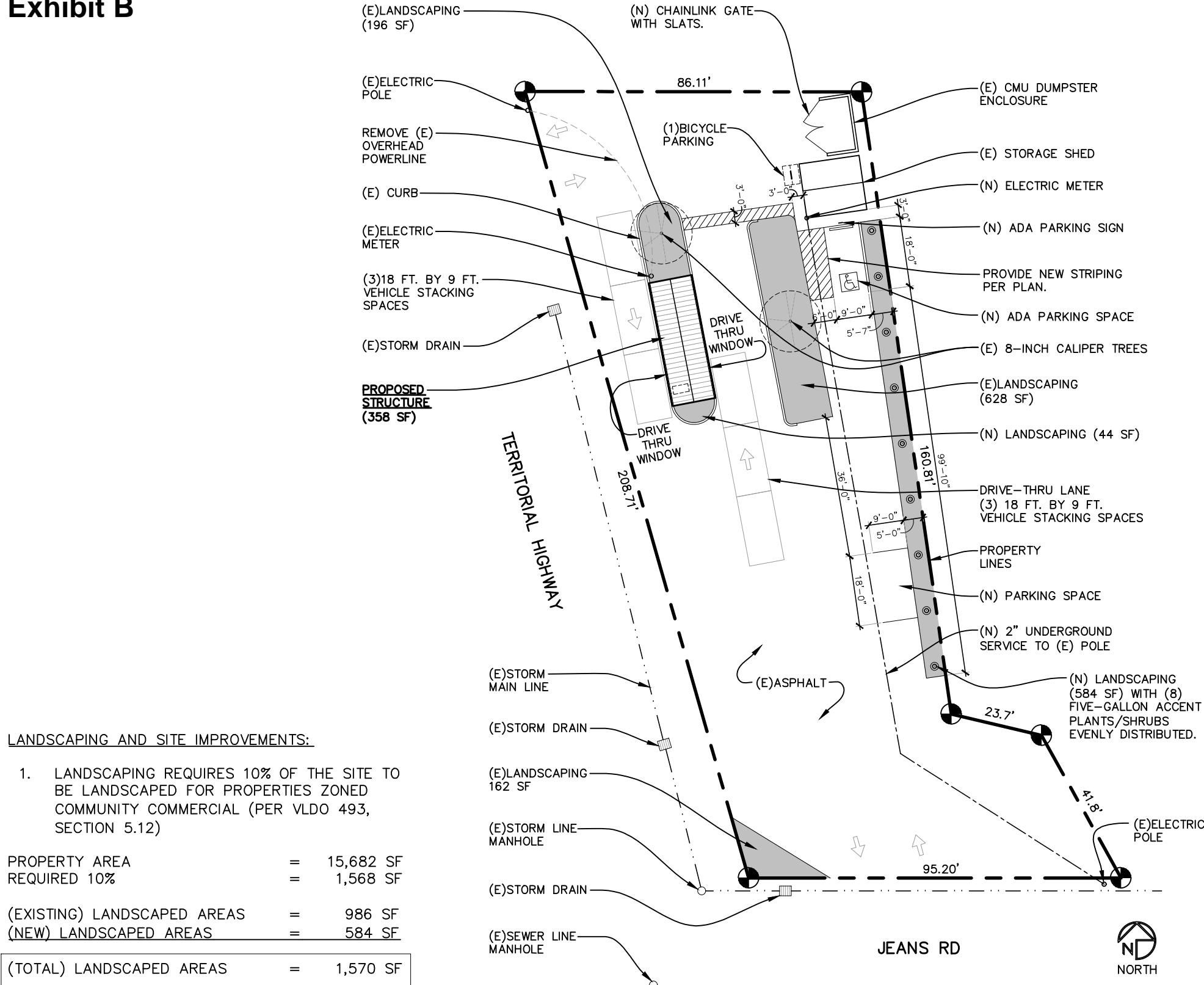


Len Goodwin, Chairperson
Veneta Planning Commission



Date

Exhibit B



PROPOSED SITE PLAN:

SCALE: 1" = 30'-0"

LOT SIZE: 0.36 ACRES

NOTE:
VERIFY ALL EXISTING CONDITIONS AND
DIMENSIONS PRIOR TO CONSTRUCTION.

LIST OF DRAWINGS:

SHEET A0	SITE PLAN & COVER SHEET
SHEET A1	DEMO PLAN
SHEET A2	FLOOR PLAN
SHEET A3	FIRE, LIFE & SAFETY PLAN
SHEET A4	ELEVATIONS
SHEET A5	FOUNDATION & FLOOR FRAMING PLAN
SHEET A6	ROOF FRAMING PLAN
SHEET A7	BUILDING SECTIONS



CCB# 181022

4673 ISABELLE STREET
EUGENE, OR 97402

P: 541-505-7535
F: 541-505-7567
EMAIL: Mario@
kaminskiconstruction.com

TAX MAP: 17-06-36-11 LOT: 00300
COMMERCIAL REMODEL PERMIT FOR:

FARM GROWN LLC
88345 TERRITORIAL RD, VENETA, OR 97487

DATE: APRIL 2024
REV:

SHEET: A0
SITE PLAN
1 OF 8 SHEETS

PROPERTY INFORMATION:

OWNER: FARM GROWN LLC
SITE ADDRESS: 88345 TERRITORIAL RD,
VENETA, OR 97487
MAP & TAX LOT: 17-06-36-11-00300
ACREAGE: 0.36
ZONING: COMMUNITY COMMERCIAL

SCOPE OF WORK:

NEW 358 SF DRIVE-THRU COFFEE SHOP STRUCTURE
TO REPLACE EXISTING 125 SF STRUCTURE.

SQUARE FOOTAGES:

EXISTING STRUCTURE AREA	125 SF
PROPOSED STRUCTURE AREA	358 SF

APPLICABLE CODES:

2022 OREGON STRUCTURAL SPECIALTY CODE
2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE

OCCUPANCY GROUP:

BUSINESS GROUP B – FOOD PROCESSING
ESTABLISHMENTS AND COMMERCIAL KITCHENS NOT
ASSOCIATED WITH RESTAURANTS, CAFETERIAS AND
SIMILAR DINING FACILITIES NOT MORE THAN 2,500
SQUARE FEET IN AREA.

CONSTRUCTION TYPE:

TYPE VB – NON-SPRINKLERED – SINGLE STORY

PARKING AND TRAFFIC FLOW:

- PROPOSED PARKING SPACES MUST BE SET BACK AT LEAST 5 FEET FROM THE PROPERTY LINE. (PER VLDO 493, SECTION 4.01, TABLE 4.3)
- PROPOSED (2) PARKING SPACES, (1) ADA-ACCESSIBLE AND (1) REGULAR, AS WELL AS (1) BICYCLE PARKING SPACE. (PER VLDO 493 SECTION 5.20, TABLE 5.20(A))
- PROPOSED (3) 18 FT. BY 9 FT. VEHICLE STACKING SPACES PER DRIVE-THRU WINDOW. (PER VLDO 493, SECTION 5.20(15))

Exhibit C



General Land Use Application

PO Box 458 * Veneta, OR 97487 * 541-935-2191 * Fax 541-935-1838 * www.venetaoregon.govPlanning File: SR - 4 - 23

Receipt #:

Date Received:

Associated File #:

Property Owner Name: FARM GROWN LLC Email: abomark@cascedetile.com; t.a.lmller@gmail.com
 Mailing Address: 87841 Misty Lane Veneta, OR 97487 Phone: 541-208-8832
 Applicant: JRC Ventures, LLC Email: hillbillybrews.veneta@gmail.com
 Mailing Address: 24870 Warthen Road Elmira, OR 97437 Phone: 541-321-5919
 Agent: Joanna Richa & Charbel Richa Email:
 Mailing Address: 24870 Warthen Road Elmira, OR 97437 Phone: 541-335-1368
 Representative: Kaminski Construction Email: mario@kaminskiconstruction.com
 Mailing Address: 41073 Isabelle St. Eugene, OR 97407 Phone: 541-505-7535

Assessor's Map Number (Township, Range, Section, and Quarter Section)	Tax Lot(s)	Acres	Zone
17-06-36-11	00300	.36	CC

Subject property address(es): 88345 Territorial Road Veneta, OR 97487

Subzone (if applicable):

Check all applicable APPLICATIONS and DEPOSITS below

Technical Review/Public Notice Deposit (for ALL applications except Property Line Adjustments) \$350

APPLICATION DEPOSITS (Application fees are calculated by ACTUAL PROCESSING COSTS)

SITE PLAN REVIEW

<input checked="" type="checkbox"/> Site Plan Review/Major Amendment	\$1,350	<input type="checkbox"/> Conceptual Plan	\$350
<input type="checkbox"/> Site Plan Minor Amendment (Administrative)	\$350	<input type="checkbox"/> General Development Plan	\$550+25/unit
<input type="checkbox"/> Site Plan Minor Amendment (Planning Commission)	\$450	<input type="checkbox"/> Final Development Plan	\$300

PLANNED DEVELOPMENTS

<input type="checkbox"/> Conditional Use Permits (Note: Most Conditional Use Permits also require a Site Plan Review)	\$775
<input type="checkbox"/> Specific Area Plan Amendment – Southwest Area Plan (/SDP)	\$7,500
<input type="checkbox"/> Variance to the Veneta Wetland Protection Ordinance (Veneta Municipal Code Chapter 18.10)	\$700

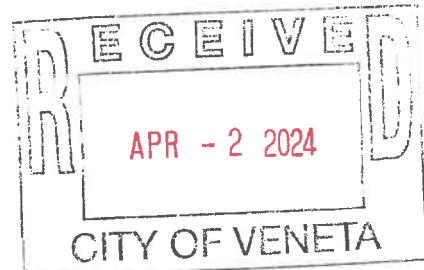
OTHER APPLICATIONS PROCESSED WITH DEPOSITS

<input type="checkbox"/> Appeals	\$525	<input type="checkbox"/> Amendments (except Specific Area Plan above)	
<input type="checkbox"/> Variance	\$425	<input type="checkbox"/> Comprehensive Plan (text only)	\$800
		<input type="checkbox"/> Ordinance (text only)	\$200
		<input type="checkbox"/> Zone Change (map only)	\$600
		<input type="checkbox"/> Plan Designation & Zoning Map	\$1,000

APPLICATIONS WITH FIXED FEES (These are non-refundable)

I HEREBY STATE THAT THE FACTS RELATED IN THE ABOVE APPLICATION AND THE PLANS AND DOCUMENTS SUBMITTED HEREWITH ARE TRUE, COMPLETE, CORRECT, AND ACCURATE TO THE BEST OF MY KNOWLEDGE.

Property Owner Signature: John Richa 4-2-24
 Applicant Signature: Charbel Richa 4.02.2024



APPLICATION FEES & DEPOSITS

Fees and deposits are intended to cover the full cost for processing applications. They are not intended to cover the cost for interpretation of ordinances or for long-range planning. Applicants seeking development which requires more than one type of review (such as site plans and conditional use permits) must pay all applicable fees and deposits. Applicant acknowledges and agrees that Applicant's failure to pay City costs over the base fee amounts, as charged monthly by the City, may result in the City pursuing any or all legal remedies available, including but not limited to liening Property in the amount owed; prosecution for violation of the City's current fee resolution and City Zoning and Development Code; issuance of a stop work order, non-issuance of building permits for Property, or cessation of related proceedings; set-off against any reimbursement owed; and turning amounts owed over to a collection agency.

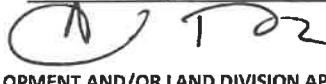
Application Deposits: Certain application fees are represented by a deposit amount. Applicants shall be charged for actual processing costs incurred by the City. City staff time shall be monitored for applications which require a deposit in lieu of a non-refundable fee. Any unused portion of the deposit shall be returned to Applicant upon completion of the application process, conditions of approval, and any ensuing appeals. Any additional costs incurred beyond the deposit amount shall be charged to and paid by Applicant on a monthly basis. Applicant agrees that Applicant's failure to pay these amounts triggers City's option to pursue any or all remedies, as listed above.

Application Fees: Fixed fees are non-refundable and are based on average application processing costs rounded to the nearest \$25.

Technical Review/Publication Deposit: The actual costs charged to the City for technical review of land use applications, including but are not limited to City's planning, public works, engineering, administration, legal, wetland specialists, geologists, biologists, arborist, and any other services provided in processing Application, shall be charged to Applicant, at the rate(s) charged to the City. In addition, the actual costs of preparing and mailing notices to abutting property owners or others required to be notified, the costs of publishing notices in newspapers, and any other mandated costs shall be charged to Applicant. Such costs shall be adjusted as soon as the specific amounts are known. Applicant agrees that any deficiencies shall be collected from Applicant, and that Applicant's failure to pay these amounts triggers City's option to pursue any or all remedies, as listed above.

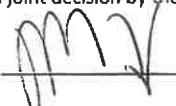
Applicant: JRC Ventures, LLC

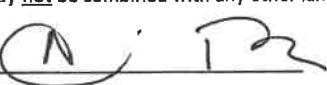
Owner(s): FARM GROWN, LLC

  4-2-24

REQUEST FOR CONSOLIDATION OF LAND DEVELOPMENT AND/OR LAND DIVISION APPLICATIONS

I hereby request that my applications be consolidated. I understand that by consolidating these applications, any limited land use action (site review, partition, subdivision) that is combined with a quasi-judicial action (variance, conditional use permit, or other action requiring a public hearing) may be subject to a public hearing and the 14-day limitation for written comments will be waived. Wetland Variances requiring a joint decision by the City Council and Veneta Planning Commission may not be combined with any other land use hearing.

Applicant: 

Owner(s):  4-2-24



CCB# 181022

4673 ISABELLE STREET
EUGENE, OR 97402

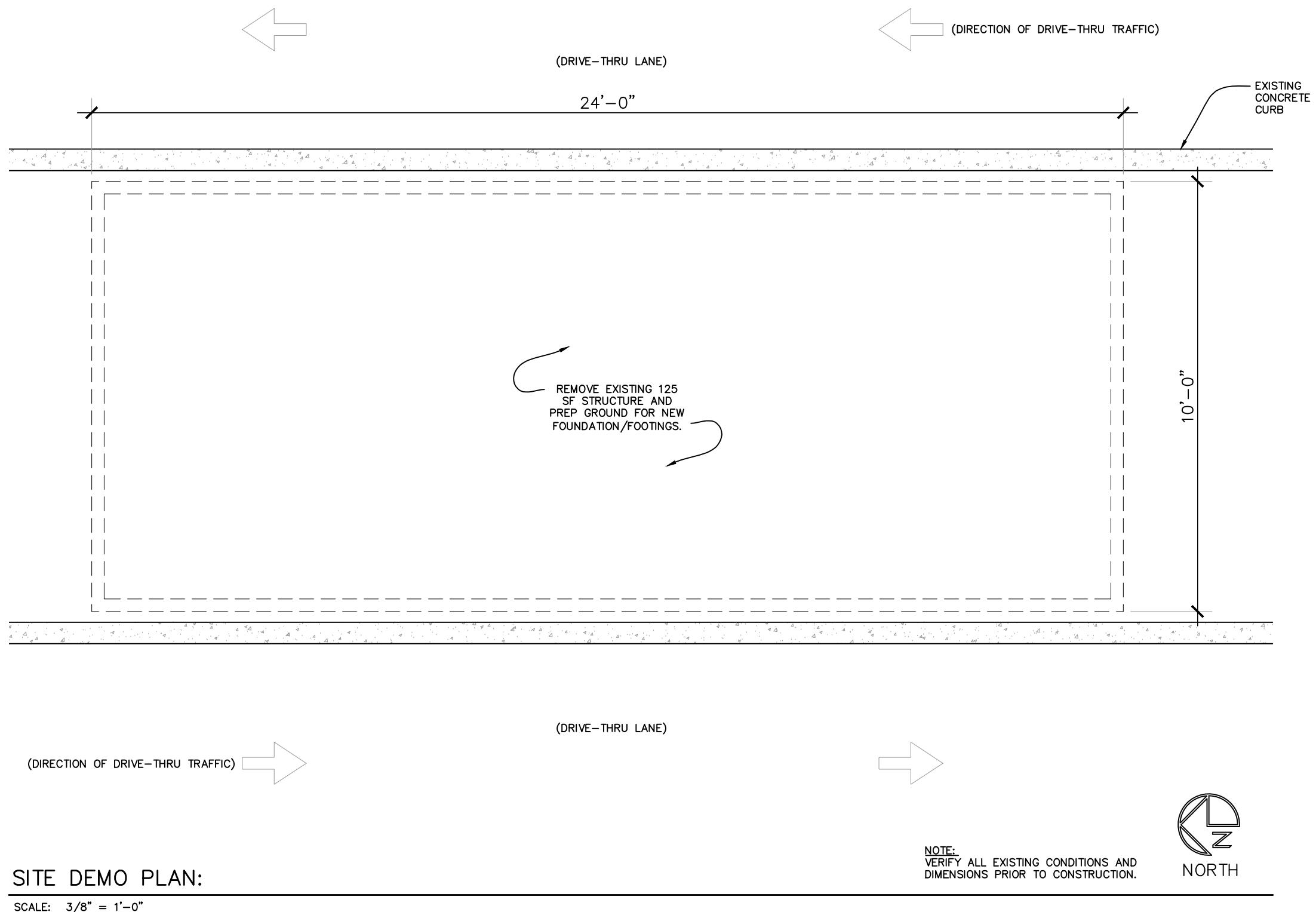
P: 541-505-7535
F: 541-505-7567
EMAIL: Mario@
kaminskiconstruction.com

TAX MAP: 17-06-36-11 LOT: 00300
COMMERCIAL REMODEL PERMIT FOR:
FARM GROWN LLC
88345 TERRITORIAL RD, VENETA, OR 97487

DATE: APRIL 2024

REV:

SHEET: A1
DEMO PLAN
2 OF 8 SHEETS



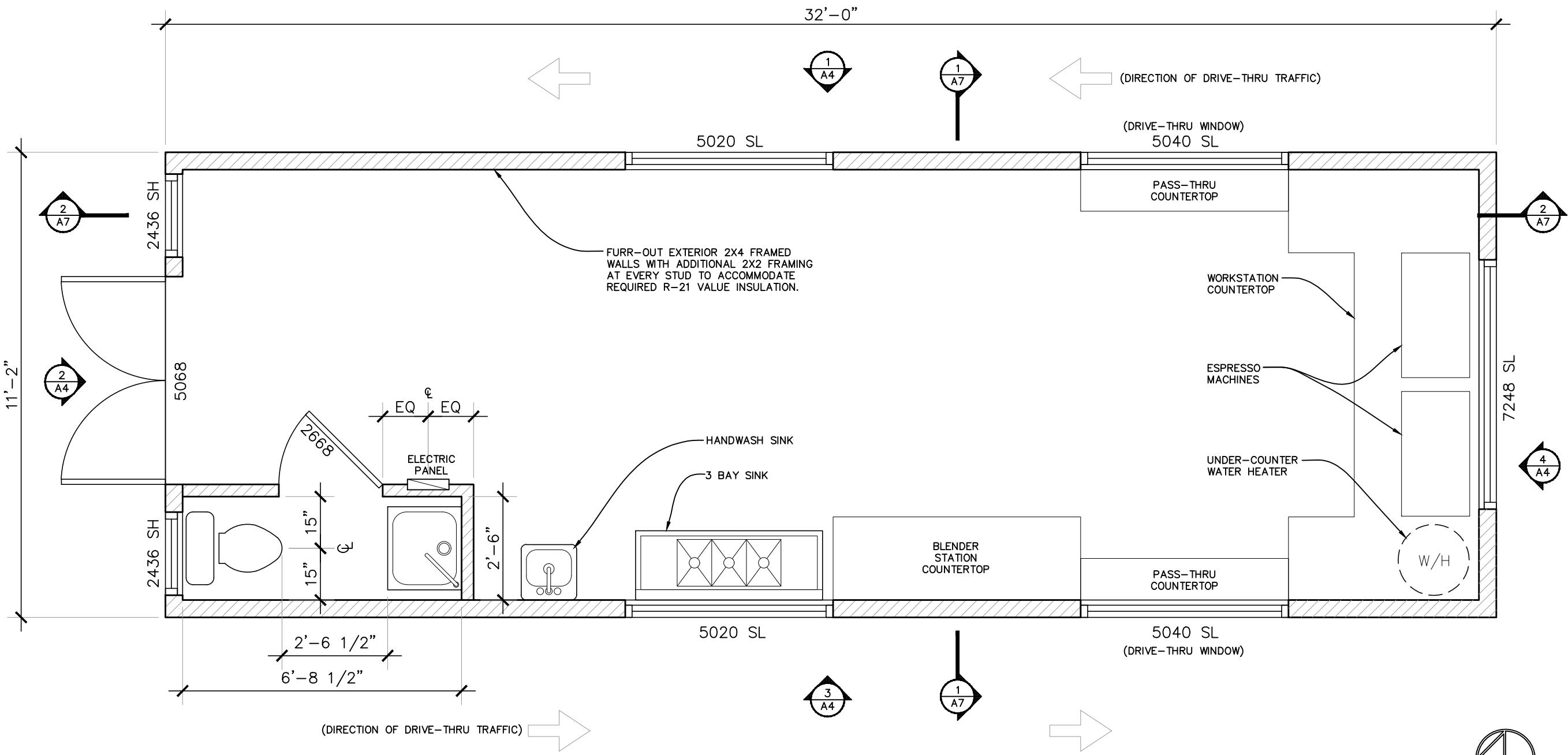
PRE-MANUFACTURED STRUCTURE :
-STRUCTURE WAS MANUFACTURED AND ENGINEERED BY PREMIER PORTABLE BUILDINGS. SEE STRUCTURAL ENGINEER STAMPED DRAWINGS ATTACHED FOR FASTENING SCHEDULE, SHEARWALL CHART, P.E. TRUSSES, FRAMING INFORMATION, ANCHORING DETAILS & SCHEDULES.

FLOOR PLAN LEGEND:

EXTERIOR 2X4 AT 16" O.C.
FRAMED WALLS WITH ADDITIONAL
2X2 FRAMING AT EVERY STUD

ELEVATION VIEW TAG,
DETAIL # ABOVE &
SHEET # BELOW

BUILDING SECTION TAG,
DETAIL # ABOVE &
SHEET # BELOW



NOTE:
VERIFY ALL EXISTING CONDITIONS AND
DIMENSIONS PRIOR TO CONSTRUCTION.



FLOOR PLAN:

SCALE: 3/8" = 1'-0"

The Kotlin logo is a stylized letter 'K' composed of black, white, and teal geometric shapes, enclosed within an oval border.

KAMINSKI CONSTRUCTION, LLC

CCB# 181022

4673 ISABELLE STREET
EUGENE, OR 97402

P: 541-505-7535
F: 541-505-7567
EMAIL: Mario@kaminskiconstruction.com

TAX MAP: 17-06-36-11 LOT: 00300

COMMERCIAL REMODEL PERMIT FOR:

88345 TERRITORIAL RD, VENETA, OR 97487

DATE: APRIL 2024

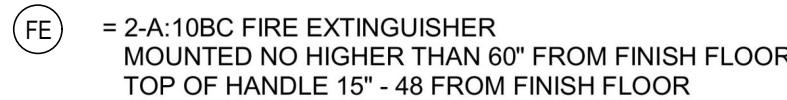
RFV:

SHEET: A2
FLOOR PLAN
3 OF 8 SHEETS

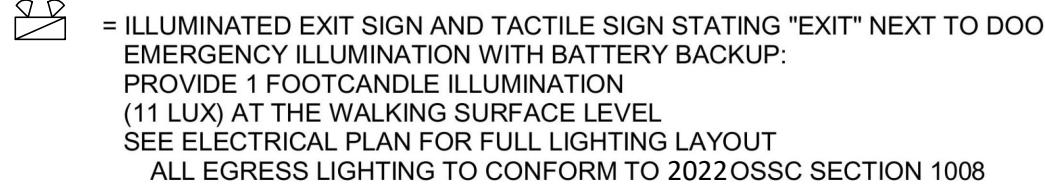
LIFE SAFETY NOTES:



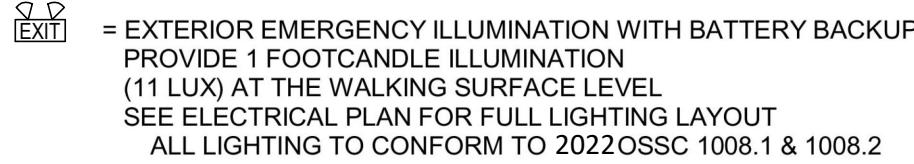
= EGRESS PATH OF TRAVEL



= 2-A:10BC FIRE EXTINGUISHER
MOUNTED NO HIGHER THAN 60" FROM FINISH FLOOR
TOP OF HANDLE 15" - 48 FROM FINISH FLOOR



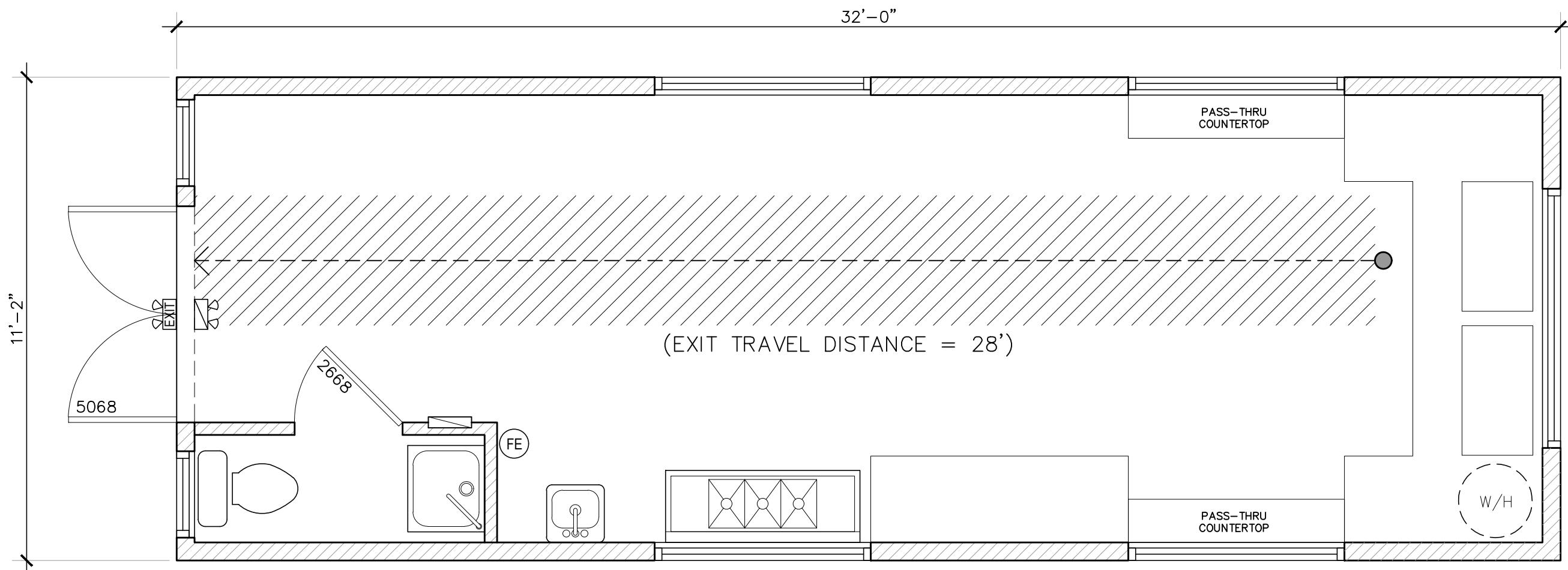
= ILLUMINATED EXIT SIGN AND TACTILE SIGN STATING "EXIT" NEXT TO DOOR
EMERGENCY ILLUMINATION WITH BATTERY BACKUP:
PROVIDE 1 FOOTCANDLE ILLUMINATION
(11 LUX) AT THE WALKING SURFACE LEVEL
SEE ELECTRICAL PLAN FOR FULL LIGHTING LAYOUT
ALL EGRESS LIGHTING TO CONFORM TO 2022 OSSC SECTION 1008



= EXTERIOR EMERGENCY ILLUMINATION WITH BATTERY BACKUP
PROVIDE 1 FOOTCANDLE ILLUMINATION
(11 LUX) AT THE WALKING SURFACE LEVEL
SEE ELECTRICAL PLAN FOR FULL LIGHTING LAYOUT
ALL LIGHTING TO CONFORM TO 2022 OSSC 1008.1 & 1008.2

MEANS OF EGRESS ILLUMINATION NOTES:

- PER 2022 OSSC 1008.2: ILLUMINATION REQUIRED. THE MEANS OF EGRESS SERVING A ROOM OR SPACE SHALL BE ILLUMINATED AT ALL TIMES THAT THE ROOM OR SPACE IS OCCUPIED.
- PER 2022 OSSC 1008.2.1: ILLUMINATION LEVEL UNDER NORMAL POWER. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL BE NOT LESS THAN 1 FOOTCANDLE (11 LUX) AT THE WALKING SURFACE
- PER 2022 OSSC 1008.3: EMERGENCY POWER FOR ILLUMINATION. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES* ELECTRICAL SUPPLY.
- PER 2022 OSSC 1008.3.1: GENERAL. IN THE EVENT OF POWER SUPPLY FAILURE IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE ALL OF THE FOLLOWING AREAS:
 1. AISLES
 2. CORRIDORS
 3. EXIT ACCESS STAIRWAY AND RAMPS
- PER 2022 OSSC 1008.34: DURATION. THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 2702.
- PER 2022 OSSC 1008.3.5: ILLUMINATION LEVEL UNDER EMERGENCY POWER. EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS NOT LESS THAN AN AVERAGE OF 1 FOOTCANDLE (11 LUX) AND A MINIMUM AT ANY POINT OF 0.1 FOOTCANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOTCANDLE (6 LUX) AVERAGE AND A MINIMUM AT ANY POINT OF 0.06 FOOTCANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME DURATION. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED. IN GROUP I-2 OCCUPANCIES, FAILURE OF A SINGLE LAMP IN A LUMINAIRE SHALL NOT REDUCE THE ILLUMINATION LEVEL TO LESS THAN 0.2 FOOTCANDLE (2.2 LUX)



FIRE, LIFE & SAFETY PLAN:

SCALE: 3/8" = 1'-0"



KAMINSKI
CONSTRUCTION, LLC

CCB# 181022

4673 ISABELLE STREET
EUGENE, OR 97402

P: 541-505-7535
F: 541-505-7567
EMAIL: Mario@
kaminskiconstruction.com

TAX MAP: 17-06-36-11 LOT: 00300

COMMERCIAL REMODEL PERMIT FOR:

FARM GROWN LLC
88345 TERRITORIAL RD, VENETA, OR 97487

DATE: APRIL 2024

REV:

SHEET: A3

FIRE, LIFE &
SAFETY PLAN
4 OF 8 SHEETS



KAMINSKI
CONSTRUCTION, LLC

CCB# 181022

4673 ISABELLE STREET
EUGENE, OR 97402

P: 541-505-7535
F: 541-505-7567
EMAIL: Mario@
kaminskiconstruction.com

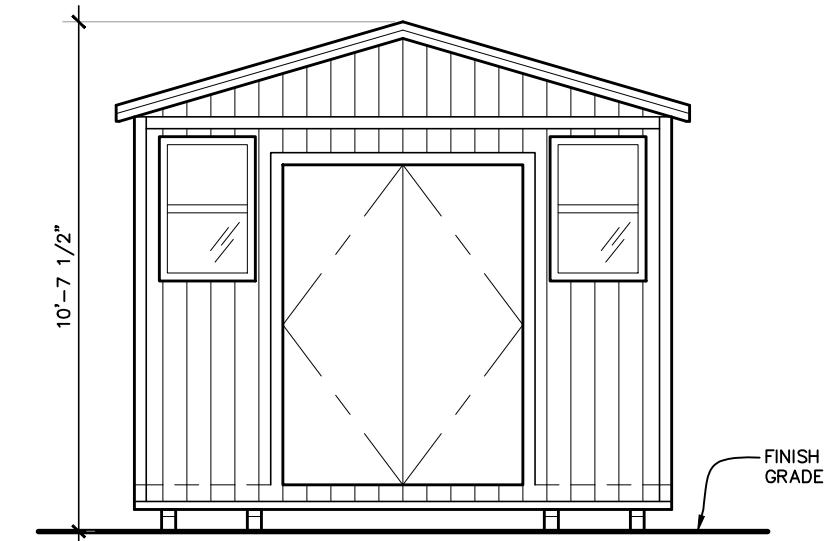
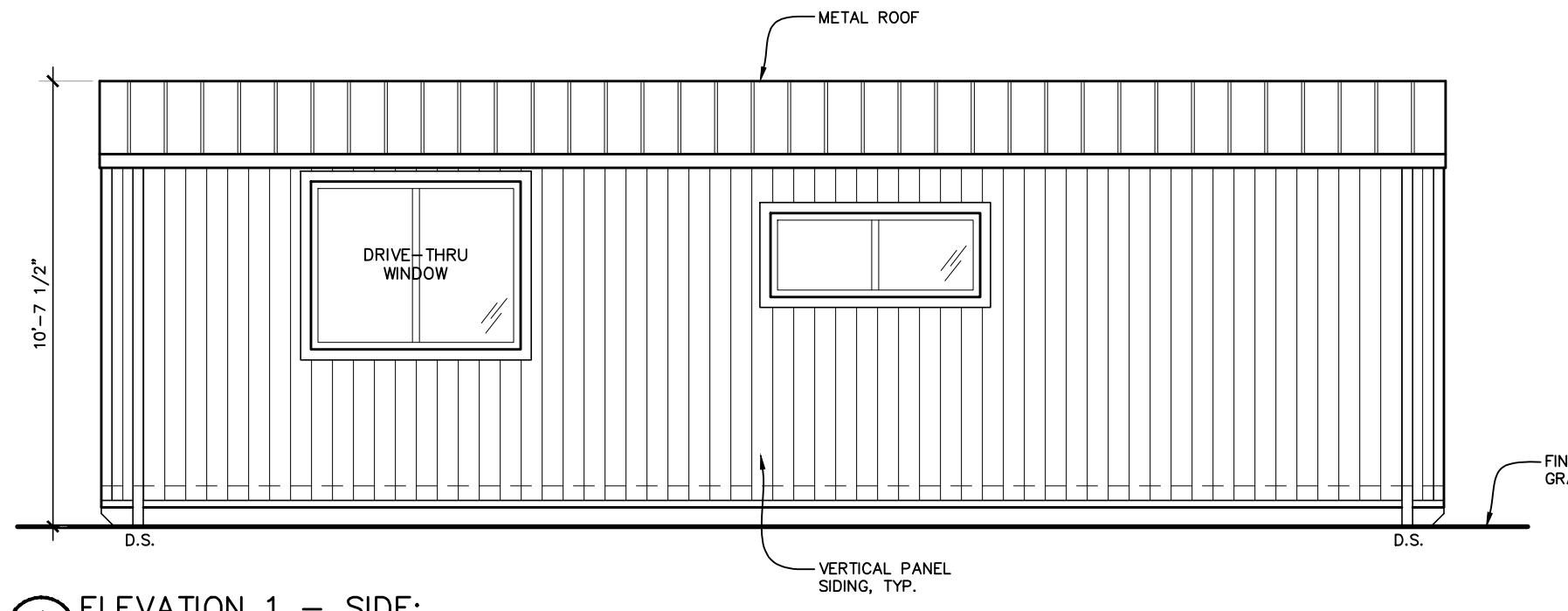
TAX MAP: 17-06-36-11 LOT: 00300

COMMERCIAL REMODEL PERMIT FOR:

FARM GROWN LLC
88345 TERRITORIAL RD, VENETA, OR 97487

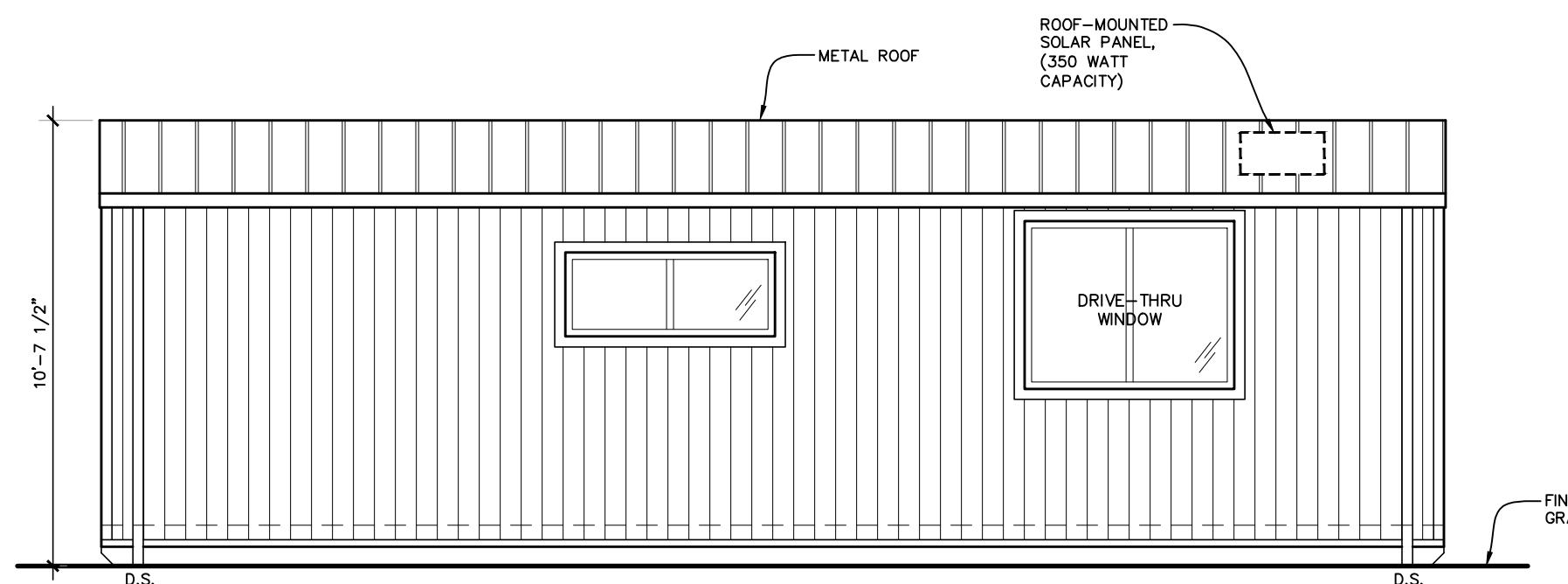
PRE-MANUFACTURED STRUCTURE :

-STRUCTURE WAS MANUFACTURED AND ENGINEERED BY
PREMIER PORTABLE BUILDINGS. SEE STRUCTURAL
ENGINEER STAMPED DRAWINGS ATTACHED FOR FASTENING
SCHEDULE, SHEARWALL CHART, P.E. TRUSSES, FRAMING
INFORMATION, ANCHORING DETAILS & SCHEDULES.



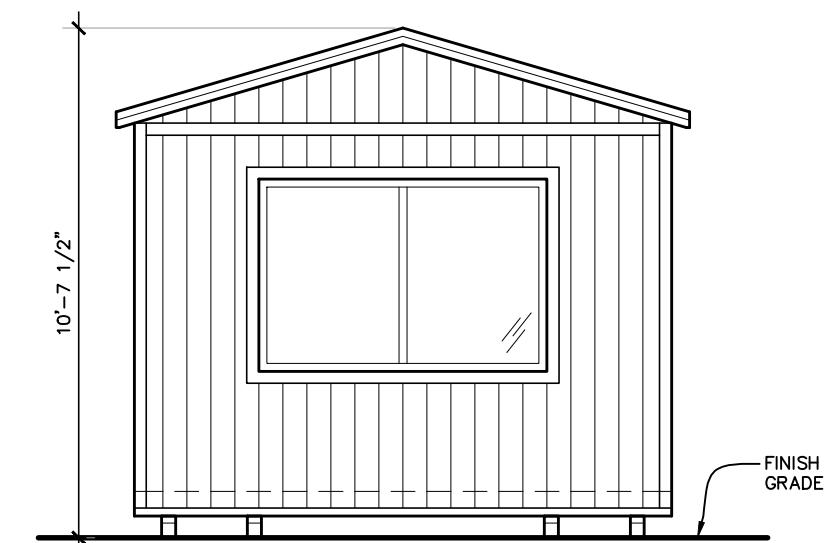
ELEVATION 2 – FRONT:

2 A4 SCALE: 1/4" = 1'-0"



ELEVATION 3 – SIDE:

3 A4 SCALE: 1/4" = 1'-0"



ELEVATION 4 – REAR:

4 A4 SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

-VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
-SEE PLANS AND SECTIONS FOR SPECIFIC FINISH AND MATERIAL INFO.

DATE: APRIL 2024

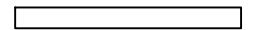
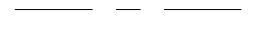
REV:

**SHEET: A4
ELEVATIONS
5 OF 8 SHEETS**

FOOTING SCHEDULE	
MARK	DETAILS
F-16	16" X 16" X 4" THICK MIN. CONC. FOOTING W/ #4 REBAR AT 8" O.C. EACH WAY AND MIN. 3" CLEAR FROM BOTTOM
NOTES:	
1.) EXCEPT WHERE OTHERWISE PROTECTED FROM FROST, FOUNDATIONS SHALL BE EXTENDED BELOW THE FROST LINE OF THE LOCALITY, BUT NO LESS THAN 12" BELOW FINISH GRADE.	

PRE-MANUFACTURED STRUCTURE :
-STRUCTURE WAS MANUFACTURED AND ENGINEERED BY PREMIER PORTABLE BUILDINGS. SEE STRUCTURAL ENGINEER STAMPED DRAWINGS ATTACHED FOR FASTENING SCHEDULE, SHEARWALL CHART, P.E. TRUSSES, FRAMING INFORMATION, ANCHORING DETAILS & SCHEDULES.

FOUNDATION AND FRAMING PLAN LEGEND:

	4X6 SKIDS
	2X6 FLOOR JOISTS
	FOOTINGS, SEE SCHEDULE



CCB# 181022

4673 ISABELLE STREET
EUGENE, OR 97402

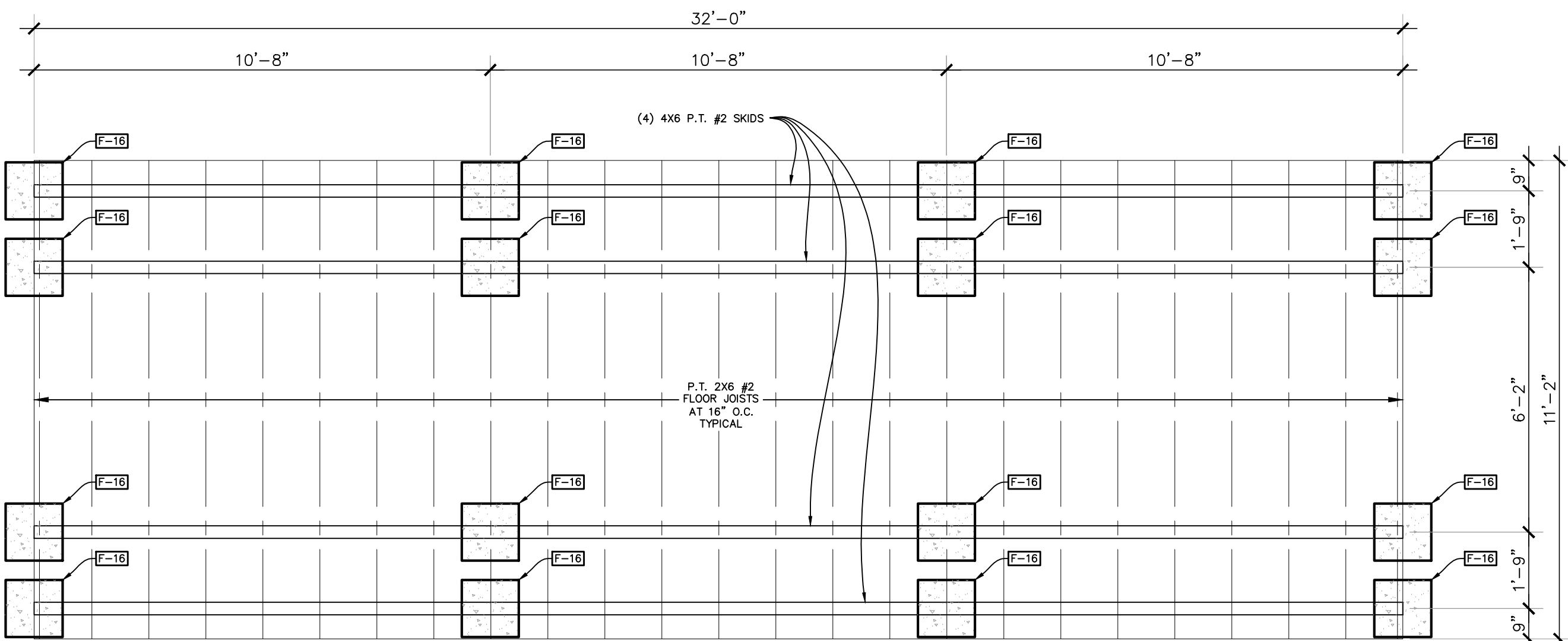
P: 541-505-7535
F: 541-505-7567
EMAIL: Mario@
kaminskiconstruction.com

TAX MAP: 17-06-36-11 LOT: 00300
COMMERCIAL REMODEL PERMIT FOR:
FARM GROWN LLC
88345 TERRITORIAL RD, VENETA, OR 97487

DATE: APRIL 2024

REV:

SHEET: A5
FOUNDATION &
FLOOR FRAMING
6 OF 8 SHEETS



FOUNDATION AND DECK FRAMING PLAN:

SCALE: 3/8" = 1'-0"

NOTE:
VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.



TYPICAL ROOF NOTES:

ROOFING MATERIAL:
METAL ROOFING, PER BUILDING MANUFACTURER.

ROOF FRAMING:
P.E. TRUSSES AT 18" O.C. AS SPECIFIED

ROOF SHEATHING:
COMPOSITION ROOF - 1/2" CDX PLYWOOD

VENTILATION:
PROVIDE 1' PER 150' OF ATTIC SPACE PROVIDE GABLE END VENT
AND/OR CONTINUOUS RIDGE VENT/OR EQUIV. 8"x8"
JACK VENTS MAY BE USED IN PLACE OF RIDGE VENTS.

OVERHANG:
0'-6" AT GABLES & EAVES, (UNLESS NOTED OTHERWISE)

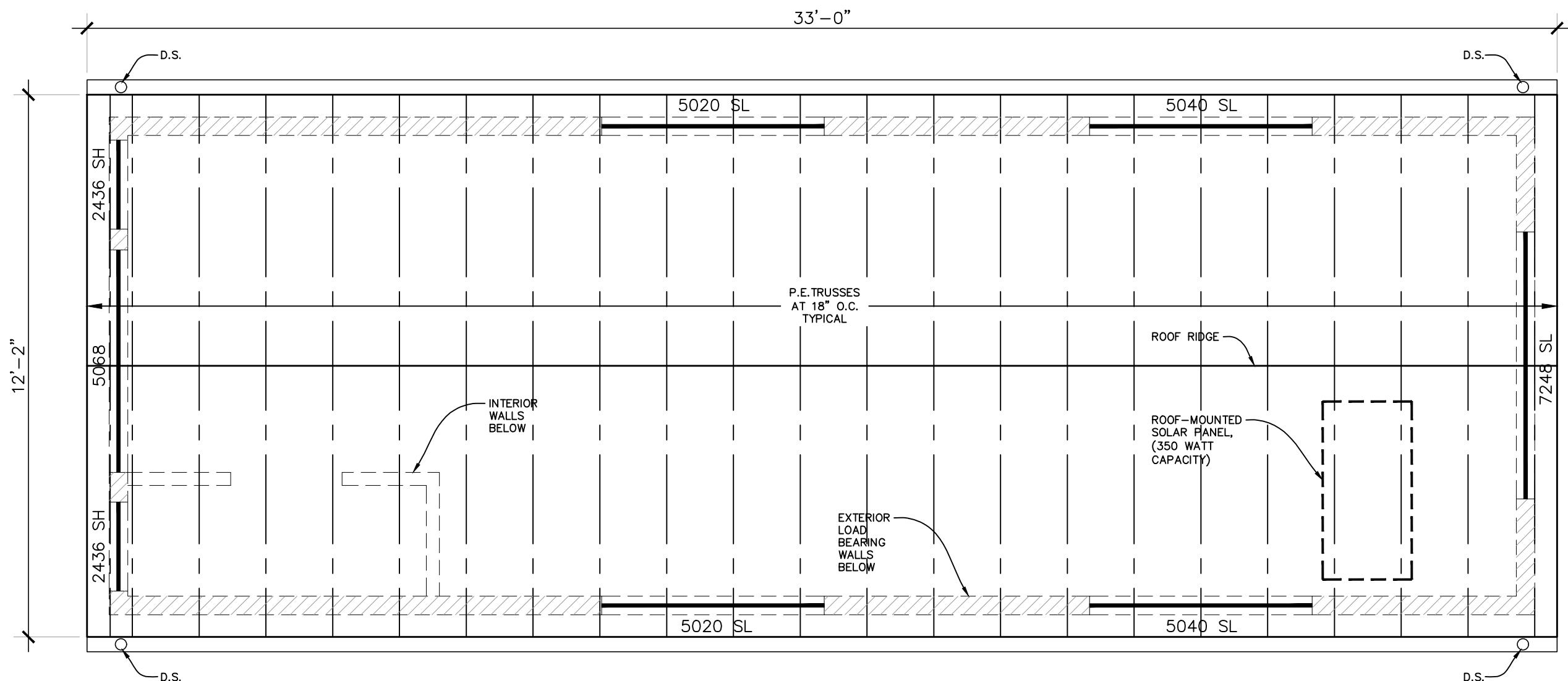
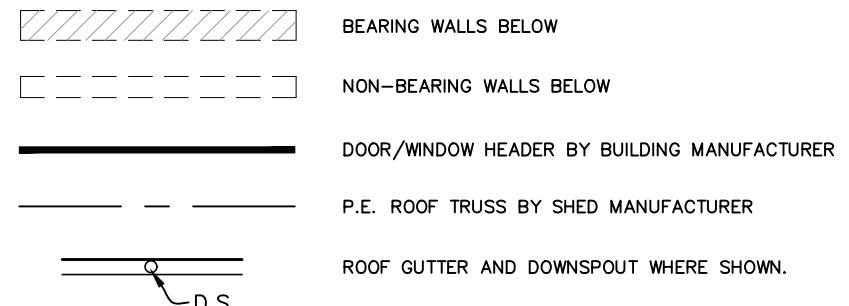
GUTTERS & DOWNSPOUTS:
GALVANIZED PAINTED GUTTER W/ 3" GALVANIZED DOWNSPOUTS

FLASHING:
ALL FLASHINGS TO BE GALVANIZED STEP FLASHING

GENERAL NOTES:
SEE ELEVATIONS FOR ROOF PITCHES.

PRE-MANUFACTURED STRUCTURE :
-STRUCTURE WAS MANUFACTURED AND ENGINEERED BY
PREMIER PORTABLE BUILDINGS. SEE STRUCTURAL
ENGINEER STAMPED DRAWINGS ATTACHED FOR FASTENING
SCHEDULE, SHEARWALL CHART, P.E. TRUSSES, FRAMING
INFORMATION, ANCHORING DETAILS & SCHEDULES.

ROOF FRAMING LEGEND:



ROOF FRAMING PLAN:

SCALE: 3/8" = 1'-0"

NOTE:
VERIFY ALL EXISTING CONDITIONS AND
DIMENSIONS PRIOR TO CONSTRUCTION.



SHEET: A6
ROOF FRAMING
PLAN
7 OF 8 SHEETS

TAX MAP: 17-06-36-11 LOT: 00300

COMMERCIAL REMODEL PERMIT FOR:

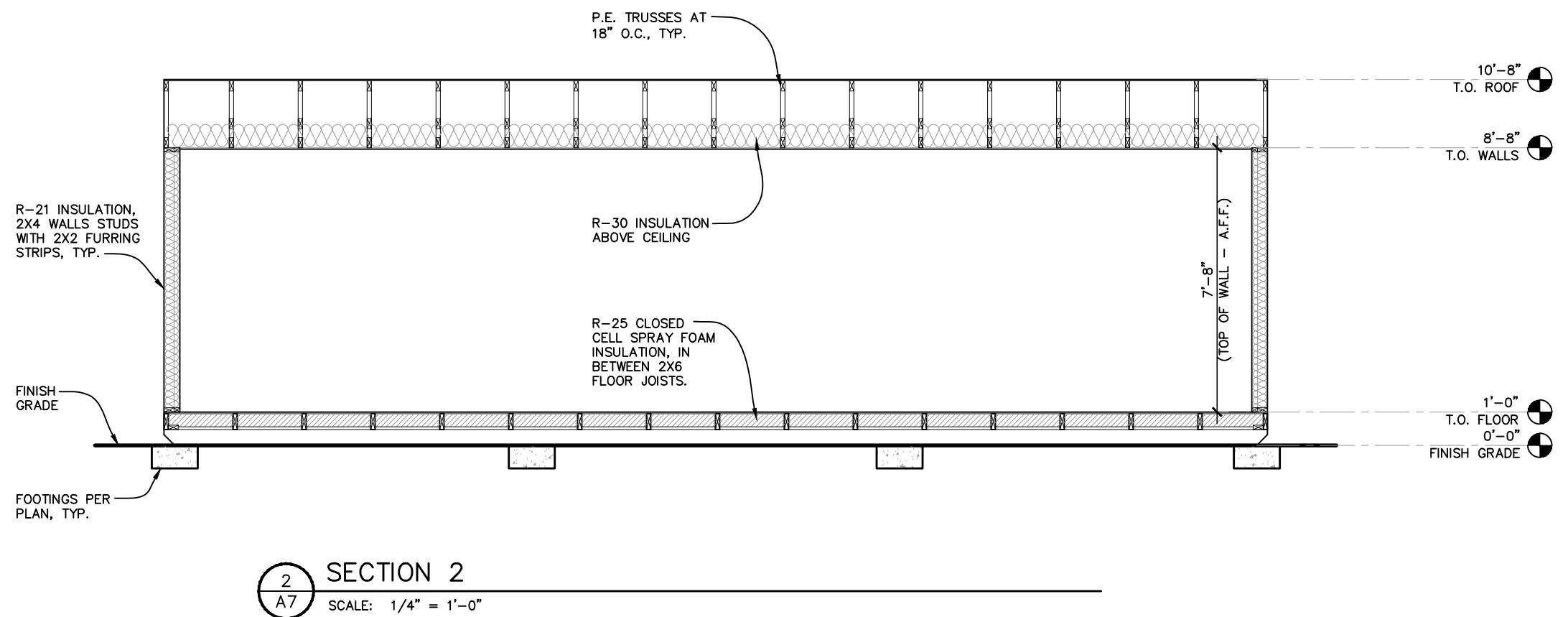
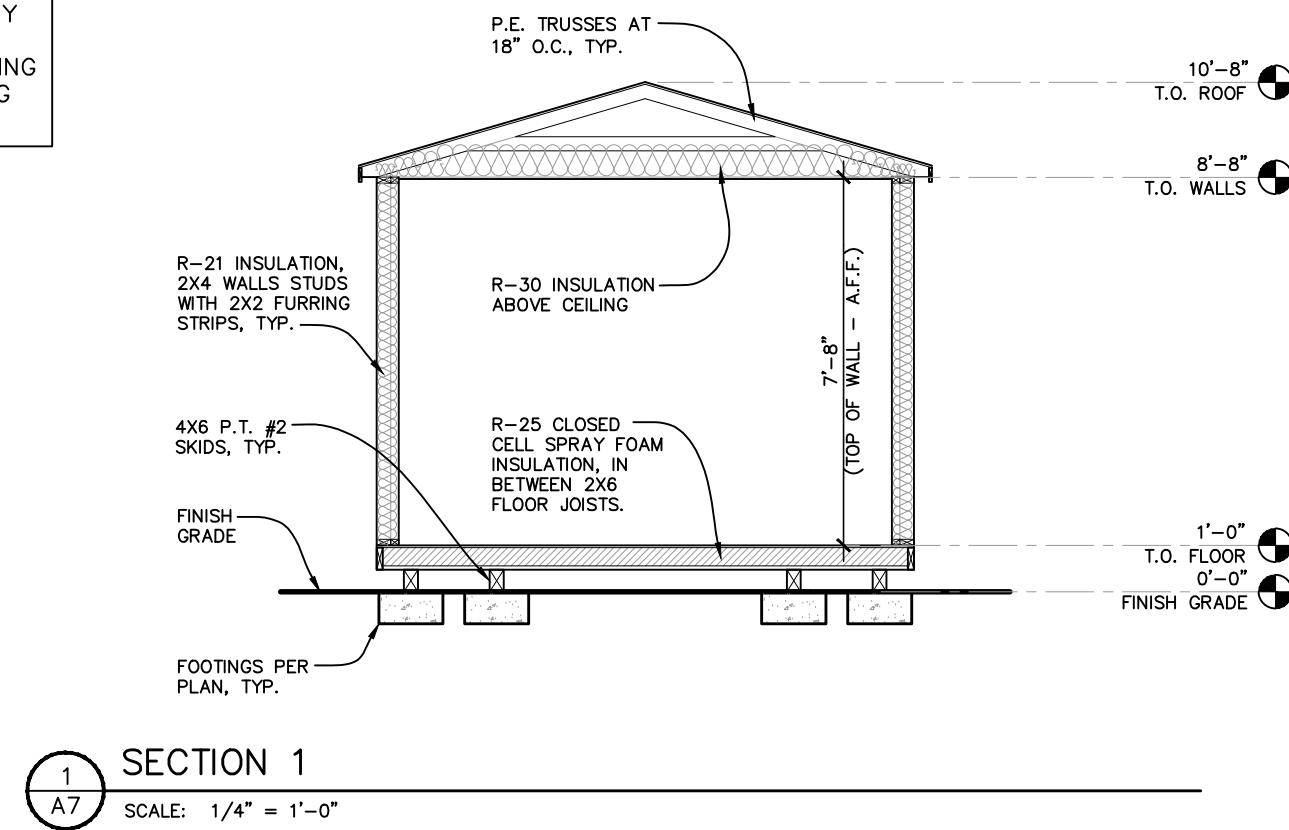
FARM GROWN LLC
88345 TERRITORIAL RD, VENETA, OR 97487

DATE: APRIL 2024

REV:

KAMINSKI
CONSTRUCTION, LLC
CCB# 181022
4673 ISABELLE STREET
EUGENE, OR 97402
P: 541-505-7535
F: 541-505-7567
EMAIL: Mario@
kaminskiconstruction.com

PRE-MANUFACTURED STRUCTURE :
 -STRUCTURE WAS MANUFACTURED AND ENGINEERED BY PREMIER PORTABLE BUILDINGS. SEE STRUCTURAL ENGINEER STAMPED DRAWINGS ATTACHED FOR FASTENING SCHEDULE, SHEARWALL CHART, P.E. TRUSSES, FRAMING INFORMATION, ANCHORING DETAILS & SCHEDULES.



CCB# 181022
 4673 ISABELLE STREET
 EUGENE, OR 97402
 P: 541-505-7535
 F: 541-505-7567
 EMAIL: Mario@
 kaminskiconstruction.com

TAX MAP: 17-06-36-11 LOT: 00300
 COMMERCIAL REMODEL PERMIT FOR:
 FARM GROWN LLC
 88345 TERRITORIAL RD, VENETA, OR 97487

DATE: APRIL 2024
 REV:

SHEET:
 A7
 SECTIONS
 8 OF 8 SHEETS

Site Plan Review - JRC Ventures LLC - Hillbilly Brews

88345 Territorial Hwy Veneta, OR 97487

LOT #

**Contact: Joanna Richa 541-321-5919, Charbel Richa 541-335-1368
24870 Warthen Road Elmira, OR 97437**

Section 6.05 Approval Criteria

- 1) After an examination of the site and prior to approval of plans, the Planning Commission or Building and Planning Official just make the following findings: **Update/ Replace Existing Building 8'x24' to 11.5'x32'**
 - a) That all provisions of city ordinances are complied with. **All provisions of city ordinances are complied with.**
 - b) That traffic congestion is avoided; pedestrian, bicycle and vehicular safety are protected; and future street right-of-way is protected. **Traffic congestion will be improved as the building will move forward allowing for queue to be longer on the west side of the building.**
 - c) That proposed signs or lighting will not, by size, location or color, interfere with traffic or limit visibility. **Only proposed signs may be on top of the building not affecting visibility.**
 - d) That adequate water, sewer , and other required facilities, for the proposed use are available. **Current building is connected to sewer and water with the city. New building will have a bathroom inside the unit.**
 - e) That drainageways are protected, existing drainage patterns are maintained and drainage facilities are provided in accordance with Section 5.16 of this ordinance. **Gutters will be installed on the new building. Drainage will not be affected.**
 - f) That the extent of emissions and potential nuisance characteristics are reasonably compatible with the land use district, adjacent land uses and the standards of all applicable regulatory agencies having jurisdiction. **Addition of a typical stove/oven/vent will not negatively affect the surrounding area.**
 - g) Where the applicant has requested and adjustment to Site Plan Review criteria (Type II Site Plan Review) pursuant to the Veneta Land Development Ordinance, the applicant shall identify all applicable criteria in this ordinance and specifically address each adjustment. **Building will move forward centered towards Jeans Road approximately 11ft to bring Electrical Pole to code.**
- 2) Alternatives to the Commercial and Mixed Use Design Standards of Section 5.13, or Residential Design Standards of Section 5.29 or Off Street Parking Location Standards Section 5.20(3)(c) may be granted by the Planning Commission following a public hearing where the Commission finds that the alternative design:
 - a) Meets the purpose and intent of the applicable design standard being adjusted: **N/A**
 - b) Conforms with the design guidelines provided in Section 5.13 or 5.29 as applicable **N/A**
 - c) Promotes pedestrian safety convenience and comfort. *** Suggest narrower screen type trellis to separate drive thru from the road. Provides visual separation and guidance for vehicles and pedestrian traffic.**
 - d) Contains architectural features substituting for code required features which are consistent with the overall design intent and composition of the building. **Curb and ballards to protect building and separate from vehicles**
 - e) Maintains or enhances compatibility between new development and existing uses, including aesthetics and privacy for residential uses. **N/A**

10/10/2023

To: Veneta Urban Renewal Agency

Re: Application for

Joanna & Charbel Richa

JRC Ventures LLC

DBA Hillbilly Brews Oregon

In January of 2023, we made the exciting purchase of a coffee shop pair here in Veneta. Hillbilly Brews, formally known as Nina's, has been a long standing part of our community. With the purchase we chose to keep the name that has become familiar over the last 10 years and hope to continue serving our community with their daily coffee needs.

The building on Territorial and Jeans Road was built in 2001 and is quite literally bursting at the seams. There are much needed upgrades to help with the continued service to the community. These include but are not limited to a new building, allowing for more space to work, better workflow, and the ability to have more people working. Currently this little shop drives most of our business and it is not able to accommodate more volume.

Charbel and I have decided to move forward with having a larger building built for this location. We will be able to house the two freezers that currently sit outside the building, create a safer space for employees to use the restroom, and allow for more employees to work at one time creating more jobs for the community. With the community's growth we need to be ready. A new building will also look nicer. Fresh paint, newer and more windows, and new signage. We will also be looking to add outside covered seating so customers can enjoy their food and beverage on site.

With the new building we will be re-submitting plans to the county that will move us from a "Mobile" unit (grandfathered in) to a zero seat restaurant. This opens a world of opportunities for us. We will be able to offer additional food options and cook on sight. Currently we have 3 almost full time employees, but this would allow us to offer a broader scope of work and provide additional local jobs. We have some ladies working for us who are very interested in baking and cooking. We would be able to provide the space for the creation of more local treats and provide opportunities for our employees to expand their horizons.

We are so excited to expand our business and continue to provide for our community. With the continued growth around us we hope you're interested in helping us on our adventure!

Thank You,

Joanna and Charbel Richa

JRC Ventures LLC

DBA Hillbilly Brews



COMcheck Software Version COMcheckWeb

Envelope Compliance Certificate

Project Information

Energy Code: 2021 IECC
Project Title: 88345 Territorial Hwy.
Location: Veneta, Oregon
Climate Zone: 4c
Project Type: New Construction
Vertical Glazing / Wall Area: 14%

Construction Site:

Owner/Agent:

Designer/Contractor:

Additional Efficiency Package(s)

Credits: 10.0 Required 12.5 Proposed
10% cooling efficiency improvement, 2.5 credit
On-site renewable energy, 7.0 credit
10% heating efficiency improvement, 3.0 credit

Building Area	Floor Area					
1-Dining: Cafeteria/Fast Food : Nonresidential	359					
Envelope Assemblies						
Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor ^(a)	
Floor: Wood-Framed, [Bldg. Use 1 - Dining: Cafeteria/Fast Food]	359	30.0	0.0	0.033	0.033	
Roof: Attic Roof, Wood Joists, [Bldg. Use 1 - Dining: Cafeteria/Fast Food]	384	30.0	0.0	0.034	0.021	
NORTH						
Ext. Wall: Wood-Framed, 16in. o.c., [Bldg. Use 1 - Dining: Cafeteria/Fast Food]	95	24.0	0.0	0.058	0.051	
Door: Insulated Metal, Swinging, [Bldg. Use 1 - Dining: Cafeteria/Fast Food]	34	---	---	0.580	0.370	
Window: Vinyl Frame: Operable, Perf. Specs.: Product ID v000588040, SHGC 0.32, [Bldg. Use 1 - Dining: Cafeteria/Fast Food] (b)	12	---	---	0.300	0.450	
EAST						
Ext. Wall: Wood-Framed, 16in. o.c., [Bldg. Use 1 - Dining: Cafeteria/Fast Food]	243	24.0	0.0	0.058	0.051	
Window: Vinyl Frame: Operable, Perf. Specs.: Product ID v000588040, SHGC 0.32, [Bldg. Use 1 - Dining: Cafeteria/Fast Food] (b)	30	---	---	0.300	0.450	
SOUTH						
Ext. Wall: Wood-Framed, 16in. o.c., [Bldg. Use 1 - Dining: Cafeteria/Fast Food]	95	24.0	0.0	0.058	0.051	
Window: Vinyl Frame: Operable, Perf. Specs.: Product ID v000588040, SHGC 0.32, [Bldg. Use 1 - Dining: Cafeteria/Fast Food] (b)	24	---	---	0.300	0.450	
WEST						
Ext. Wall: Wood-Framed, 16in. o.c., [Bldg. Use 1 - Dining: Cafeteria/Fast Food]	243	24.0	0.0	0.058	0.051	

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U- Factor ^(a)
Window: Vinyl Frame: Operable, Perf. Specs.: Product ID v000588040, SHGC 0.32, [Bldg. Use 1 - Dining: Cafeteria/Fast Food] (b)	30	---	---	0.300	0.450

(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.

(b) Fenestration product performance must be certified in accordance with NFRC and requires supporting documentation.

Envelope PASSES: Design 0.0% better than code

Envelope Compliance Statement

Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed envelope systems have been designed to meet the 2021 IECC requirements in COMcheck Version COMcheckWeb and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Name - Title

Signature

Date



COMcheck Software Version COMcheckWeb

Interior Lighting Compliance Certificate

Project Information

Energy Code: 2021 IECC
Project Title: 88345 Territorial Hwy.
Project Type: New Construction

Construction Site: Owner/Agent: Designer/Contractor:

Additional Efficiency Package(s)

Credits: 10.0 Required 12.5 Proposed
10% cooling efficiency improvement, 2.5 credit
On-site renewable energy, 7.0 credit
10% heating efficiency improvement, 3.0 credit

Allowed Interior Lighting Power

A Area Category	B Floor Area (ft ²)	C Allowed Watts / ft ²	D Allowed Watts
1-Coffee Preparation Area (Common Space Types:Food Preparation)	359	1.09	391
Total Allowed Watts =			391

Proposed Interior Lighting Power

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixture	D Fixture Watt.	E (C X D)
1-Coffee Preparation Area (Common Space Types:Food Preparation) LED: 194994243731: 6" wafer-thin led downlight: LED A Lamp 13W:	1	12	13	156
Total Proposed Watts =			156	

Interior Lighting PASSES: Design 60% better than code

Interior Lighting Compliance Statement

Compliance Statement: The proposed interior lighting design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been designed to meet the 2021 IECC requirements in COMcheck Version COMcheckWeb and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Name - Title

Signature

Date



COMcheck Software Version COMcheckWeb

Exterior Lighting Compliance Certificate

Project Information

Energy Code: 2021 IECC
Project Title: 88345 Territorial Hwy.
Project Type: New Construction
Exterior Lighting Zone 3 (Other (LZ3))

Construction Site: Owner/Agent: Designer/Contractor:

Allowed Exterior Lighting Power

A Area/Surface Category	B Quantity	C Allowed Watts /	D Tradable Wattage	E Allowed Watts (B X C)
Drive-thru Area (Drive-up windows/doors)	4 windows	200	No	800
Entry Door (Entry canopy)	0 ft2	0.4	Yes	0
Total Tradable Watts (a) =				0
Total Allowed Watts =				800
Total Allowed Supplemental Watts (b) =				500

(a) Wattage tradeoffs are only allowed between tradable areas/surfaces.

(b) A supplemental allowance equal to 500 watts may be applied toward compliance of both non-tradable and tradable areas/surfaces.

Proposed Exterior Lighting Power

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixture	D Fixture Watt.	E (C X D)
<u>Drive-thru Area (Drive-up windows/doors, 4 windows or doors): Non-tradable Wattage</u>				
LED: vt30us440p: LED Vapor Tight Slim Strip Ligh: LED Other Fixture Unit 28W:	1	4	30	120
<u>Entry Door (Entry canopy, 0 ft2): Tradable Wattage</u>				
LED: 00194995254156: HGX LED Security Floodlighting: LED Other Fixture Unit 25W:	2	1	25	25
Total Tradable Proposed Watts =				25

Exterior Lighting TBD: Invalid exterior use quantity



COMcheck Software Version COMcheckWeb

Mechanical Compliance Certificate

Project Information

Energy Code: 2021 IECC
Project Title: 88345 Territorial Hwy.
Location: Veneta, Oregon
Climate Zone: 4c
Project Type: New Construction

Construction Site:

Owner/Agent:

Designer/Contractor:

Additional Efficiency Package(s)

Credits: 10.0 Required 12.5 Proposed

10% cooling efficiency improvement, 2.5 credit
On-site renewable energy, 7.0 credit
10% heating efficiency improvement, 3.0 credit

Mechanical Systems List

Quantity System Type & Description

1 HVAC System (Multiple-Zone):
Split System Heat Pump
Heating Mode: Capacity = 24 kBtu/h,
Proposed Efficiency = 12.50 HSPF2, Required Efficiency = 7.50 HSPF2
Cooling Mode: Capacity = 24 kBtu/h,
Proposed Efficiency = 17.90 SEER2, Required Efficiency = 14.30 SEER2
Proposed Part Load Efficiency = 0.00 , Required Part Load Efficiency = 0.00

Mechanical Compliance Statement

Compliance Statement: The proposed mechanical design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed mechanical systems have been designed to meet the 2021 IECC requirements in COMcheck Version COMcheckWeb and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Name - Title

Signature

Date



Inspection Checklist

Energy Code: 2021 IECC

Requirements: 2.0% were addressed directly in the COMcheck software

Text in the "Comments/Assumptions" column is provided by the user in the COMcheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Plan Review	Complies?	Comments/Assumptions
C103.2 [PR1] ¹	Plans and/or specifications provide all information with which compliance can be determined for the building envelope and document where exceptions to the standard are claimed.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C103.2 [PR2] ¹	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the mechanical and service water heating systems and document where exceptions to the standard are claimed. Load calculations per acceptable engineering standards and handbooks. Hot water system sized per manufacturer's sizing guide.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C103.2 [PR4] ¹	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the interior lighting and electrical systems and equipment and document where exceptions to the standard are claimed. Information provided should include interior lighting power calculations, wattage of bulbs and ballasts, transformers and control devices.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C103.2 [PR8] ¹	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the exterior lighting and electrical systems and equipment and document where exceptions to the standard are claimed. Information provided should include exterior lighting power calculations, wattage of bulbs and ballasts, transformers and control devices.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C402.4.1 [PR10] ¹	The vertical fenestration area <= 30 percent of the gross above-grade wall area.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C402.4.1 [PR11] ¹	The skylight area <= 3 percent of the gross roof area.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1)

2 Medium Impact (Tier 2)

3 Low Impact (Tier 3)

Section # & Req.ID	Plan Review	Complies?	Comments/Assumptions
C402.4.2 [PR14] ¹	In enclosed spaces > 2,500 ft ² directly under a roof with ceiling heights >15 ft. and used as an office, lobby, atrium, concourse, corridor, storage, gymnasium/exercise center, convention center, automotive service, manufacturing, non-refrigerated warehouse, retail store, distribution/sorting area, transportation, or workshop, the following requirements apply: (a) the daylight zone under skylights is >= half the floor area; (b) the skylight area to daylight zone is >= 3 percent with a skylight VT >= 0.40; or a minimum skylight effective aperture >= 1 percent.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C406 [PR9] ¹	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the additional energy efficiency package options.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

Section # & Req.ID	Footing / Foundation Inspection	Complies?	Comments/Assumptions
C303.2.1 [FO6] ¹	Exterior insulation protected against damage, sunlight, moisture, wind, landscaping and equipment maintenance activities.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.13.2 , C403.13.3 [FO9] ³	Snow/ice melting system and freeze protection systems have sensors and controls configured to limit service for pavement temperature above 50F and outdoor temperature above 40F.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
---	----------------------	---	------------------------	---	---------------------

Section # & Req.ID	Framing / Rough-In Inspection	Complies?	Comments/Assumptions
C303.1.3 [FR12] ²	Fenestration products rated in accordance with NFRC certified and as to performance labels or certificates provided.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C402.4.3 [FR10] ¹	Vertical fenestration SHGC value.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
C402.4.3, C402.4.3. 4 [FR8] ¹	Installed vertical fenestration U-factor and SHGC consistent with label specifications and as reported in plans and COMcheck reports.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
C402.4.5 [FR14] ²	U-factor of opaque swinging and nonswinging doors associated with the building thermal envelope meets requirements.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
C402.5.1. 4 [FR20] ¹	The building envelope contains a continuous air barrier that is sealed in an approved manner and average assembly air leakage <= 0.04 cfm/ft ² . Air barrier penetrations are sealed in an approved manner.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C402.5.4 [FR18] ³	Factory-built fenestration and doors are labeled as meeting air leakage requirements.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

Section # & Req.ID	Plumbing Rough-In Inspection	Complies?	Comments/Assumptions
C404.5, C404.5.1, C404.5.2 [PL6] ³	Heated water supply piping conforms to pipe length and volume requirements. Refer to section details.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
---	----------------------	---	------------------------	---	---------------------

Section # & Req.ID	Mechanical Rough-In Inspection	Complies?	Comments/Assumptions
C402.2.6 [ME41] ³	Thermally ineffective panel surfaces of sensible heating panels have insulation \geq R-3.5.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.7.7 [ME58] ³	Outdoor air and exhaust systems have motorized dampers that automatically shut when not in use and meet maximum leakage rates. Check gravity dampers where allowed. Reference section language for operational details.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.8.1 [ME65] ³	HVAC fan systems at design conditions do not exceed allowable fan system motor nameplate hp or fan system bhp.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Mechanical Systems list for values.
C403.8.3 [ME117] ²	Fans have a fan energy index (FEI) \geq 1.00. Variable volume fans will have an FEI \geq 0.95.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
C403.9 [ME144] ²	Large diameter fans where installed shall be tested and labeled in accordance with AMCA 230.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.3 [ME55] ²	HVAC equipment efficiency verified.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Mechanical Systems list for values.
C403.2.1 [ME112] ³	Zone isolation devices and controls installed where applicable.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.2.2 [ME59] ¹	Natural or mechanical ventilation is provided in accordance with International Mechanical Code Chapter 4. Mechanical ventilation has capability to reduce outdoor air supply to minimum per IMC Chapter 4.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.7.1 [ME59] ¹	Demand control ventilation provided for spaces >500 ft ² and >15 people/1000 ft ² occupant density and served by systems with air side economizer, auto modulating outside air damper control, or design airflow $>3,000$ cfm.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.7.2 [ME115] ³	Enclosed parking garage ventilation has automatic contaminant detection and capacity to stage or modulate fans to 50% or less of design capacity.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.7.6 [ME141] ³	HVAC systems serving guestrooms in Group R-1 buildings with > 50 guestrooms: Each guestroom is provided with controls that automatically manage temperature setpoint and ventilation (see sections C403.7.6.1 and C403.7.6.2).	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1)

2 Medium Impact (Tier 2)

3 Low Impact (Tier 3)

Section # & Req.ID	Mechanical Rough-In Inspection	Complies?	Comments/Assumptions
C403.7.4 [ME57] ¹	Exhaust air energy recovery on systems meeting Table C403.7.4(1) and C403.7.4(2).	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.7.5 [ME116] ³	Kitchen exhaust systems comply with replacement air and conditioned supply air limitations, and satisfy hood rating requirements and maximum exhaust rate criteria.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.6.1 [ME75] ²	Hydronic and multizone HVAC system controls are VAV fans driven by mechanical or electrical variable speed drive per Table C403.4.1.1.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.6.9 [ME67] ²	VAV fans have static pressure sensors located so controller setpoint <=1.2 w.c..	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.4.1.3 [ME24] ²	Reset static pressure setpoint for DDC controlled VAV boxes reporting to central controller based on the zones requiring the most pressure.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.4.3.3.2 [ME121] ³	Closed-circuit cooling tower within heat pump loop have either automatic bypass valve or lower leakage positive closure dampers. Open-circuit tower within heat pump loop have automatic valve to bypass all heat pump water flow around the tower. Open- or closed-circuit cooling towers used in conjunction with a separate heat exchanger have heat loss by shutting down the circulation pump on the cooling tower loop. Open- or closed circuit cooling towers have a separate heat exchanger to isolate the cooling tower from the heat pump loop, and heat loss is controlled by shutting down the circulation pump on the cooling tower loop.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.4.1.4 [ME63] ²	Heating for vestibules and air curtains with integral heating include automatic controls that shut off the heating system when outdoor air temperatures > 45F. Vestibule heating and cooling systems controlled by a thermostat in the vestibule with heating setpoint <= 60F and cooling setpoint >= 80F.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.2.2.1 [ME53] ³	Air outlets and zone terminal devices have means for air balancing.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1)

2 Medium Impact (Tier 2)

3 Low Impact (Tier 3)

Section # & Req.ID	Mechanical Rough-In Inspection	Complies?	Comments/Assumptions
C403.11.3 , C403.11.3 .1, C403.11.3 .2 [ME123] ³	Refrigerated display cases, walk-in coolers or walk-in freezers served by remote compressors and remote condensers not located in a condensing unit, have fan-powered condensers that comply with Sections C403.11.3.1 and refrigeration compressor systems that comply with C403.11.3.2..	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
---	----------------------	---	------------------------	---	---------------------

Section # & Req.ID	Rough-In Electrical Inspection	Complies?	Comments/Assumptions
C405.2.3.1 [EL22] ¹	Spaces required to have light-reduction controls have a manual control that allows the occupant to reduce the connected lighting load in a reasonably uniform illumination pattern ≥ 50 percent.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.1, C405.2.1.1 [EL18] ¹	Occupancy sensors installed in classrooms/lecture/training rooms, conference/meeting/multipurpose rooms, copy/print rooms, lounges/breakrooms, enclosed offices, open plan office areas, restrooms, storage rooms, locker rooms, corridors, warehouse storage areas, and other spaces ≤ 300 sqft that are enclosed by floor-to-ceiling height partitions. Reference section language C405.2.1.2 for control function in warehouses and section C405.2.1.3 for open plan office spaces.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.1.2 [EL19] ¹	Occupancy sensors control function in warehouses: In warehouses, the lighting in aisleways and open areas is controlled with occupant sensors that automatically reduce lighting power by 50% or more within 20 minutes of when the areas are unoccupied. The occupant sensors control lighting in each aisleway independently and do not control lighting beyond the aisleway being controlled by the sensor. Lights not turned off by occupant sensors is done so by time-switch.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.1.3 [EL20] ¹	Occupant sensor control function in open plan office areas: Occupant sensor controls in open office spaces ≥ 300 sq.ft. have controls 1) configured so that general lighting can be controlled separately in control zones with floor areas ≤ 600 sq.ft. within the space, 2) general lighting in each zone permitted to turn on upon occupancy in control zone, 3) automatically turn off general lighting in all control zones within 20 minutes after all occupants have left the space, 4) are configured so that general lighting power in each control zone is reduced by $\geq 80\%$ of the full zone general lighting power within 20 minutes of all occupants leaving that control zone.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.2, C405.2.2.1 [EL21] ²	Each area not served by occupancy sensors (per C405.2.1.1) have time-switch controls and functions detailed in sections C405.2.2.1.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1)

2 Medium Impact (Tier 2)

3 Low Impact (Tier 3)

Section # & Req.ID	Rough-In Electrical Inspection	Complies?	Comments/Assumptions
C405.2.4, C405.2.4.1, C405.2.4.2 [EL23] ²	Daylight zones provided with individual controls that control the lights independent of general area lighting. See code section C405.2.3 Daylight-responsive controls for applicable spaces, C405.2.3.1 Daylight responsive control function and section C405.2.3.2 Sidelit zone.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.5 [EL27] ¹	Additional interior lighting power allowed for special functions per the approved lighting plans and is automatically controlled and separated from general lighting.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.7 [EL28] ¹	Automatic lighting controls for exterior lighting installed. Controls will be daylight controlled, set based on business operation time-of-day, or reduce connected lighting > 30%.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.7 [EL26] ²	Low-voltage dry-type distribution electric transformers meet the minimum efficiency requirements of Table C405.6.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.8 [EL27] ²	Electric motors meet the minimum efficiency requirements of Tables C405.7(1) through C405.7(4). Efficiency verified through certification under an approved certification program or the equipment efficiency ratings shall be provided by motor manufacturer (where certification programs do not exist).	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.9.1, C405.9.2 [EL28] ²	Escalators and moving walks comply with ASME A17.1/CSA B44 and have automatic controls configured to reduce speed to the minimum permitted speed in accordance with ASME A17.1/CSA B44 or applicable local code when not conveying passengers.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.10 [EL29] ²	Total voltage drop across the combination of feeders and branch circuits <= 5%.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.1.1 [EL30] ²	At least 90% of dwelling unit permanently installed lighting shall have lamp efficacy >= 65 lm/W or luminaires with efficacy >= 45 lm/W or comply with C405.2.4 or C405.3.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.11, C405.11.1 [EL31] ²	50% of 15/20 amp receptacles installed in enclosed offices, conference rooms, copy rooms, break rooms, classrooms and workstations and > 25% of branch circuit feeders for modular furniture will have automatic receptacle control in accordance with C405.11.1.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
---	----------------------	---	------------------------	---	---------------------

Section # & Req.ID	Insulation Inspection	Complies?	Comments/Assumptions
C303.1 [IN3] ¹	Roof insulation installed per manufacturer's instructions and is labeled with R-value or insulation certificate providing R-value and other relevant data. Blown or poured loose-fill insulation is installed only where the roof slope is <=3 in 12.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C402.2.1 [IN20] ¹	Roof assembly meets minimal thermal resistance installed between roof framing or in a continuous fashion on the roof assembly as stipulated in Table C402.1.3. Requirements for above deck insulation, minimum thickness, suspended ceilings, staggered joints and skylight curbs will be met.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C303.2 [IN7] ¹	Above-grade wall insulation installed per manufacturer's instructions.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C303.2, C402.2.4 [IN9] ²	Floor insulation installed per manufacturer's instructions. Cavity or structural slab insulation installed in permanent contact with underside of decking or structural slabs.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C105 [IN6] ¹	Installed above-grade wall insulation type and R-value consistent with insulation specifications reported in plans and COMcheck reports.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
C402.2.3 [IN8] ²	Installed floor insulation type and R-value consistent with insulation specifications reported in plans and COMcheck reports.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
C402.2.6 [IN18] ³	Radiant panels and associated components, designed for heat transfer from the panel surfaces to the occupants or indoor space are insulated with a minimum of R-3.5.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C105 [IN2] ¹	Installed roof insulation type and R-value consistent with insulation specifications reported in plans and COMcheck reports. For some ceiling systems, verification may need to occur during Framing Inspection.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
C402.5.1.1 [IN1] ¹	All sources of air leakage in the building thermal envelope are sealed, caulked, gasketed, weather stripped or wrapped with moisture vapor-permeable wrapping material to minimize air leakage.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
---	----------------------	---	------------------------	---	---------------------

Section # & Req.ID	Final Inspection	Complies?	Comments/Assumptions
C303.3, C408.2.5.2 [FI17] ³	Furnished O&M instructions for systems and equipment to the building owner or designated representative.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C303.3, C408.2.5.3 [FI18] ³	Furnished O&M manuals for HVAC systems within 90 days of system acceptance.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C401.3 [FI158] ¹	A thermal envelope certificate will be supplied and completed by an approved third party.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C402.5.10 [FI126] ³	Recessed luminaires in thermal envelope to limit infiltration and be IC rated and labeled. Seal between interior finish and luminaire housing.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C402.5.8 [FI137] ¹	Weatherseals installed on all loading dock cargo door openings and provide direct contact along the top and sides of vehicles parked in the doorway.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.3.1 [FI127] ³	HVAC systems and equipment capacity does not exceed calculated loads.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.4.1 [FI147] ³	Heating and cooling to each zone is controlled by a thermostat control. Minimum one humidity control device per installed humidification/dehumidification system.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.4.1.1 [FI142] ³	Heat pump controls prevent supplemental electric resistance heat from coming on when not needed.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.4.1.2 [FI138] ³	Thermostatic controls have a 5 °F deadband.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.4.1.3 [FI120] ³	Temperature controls have setpoint overlap restrictions.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.4.2 [FI139] ³	Each zone equipped with setback controls using automatic time clock or programmable control system.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C403.4.2.1, C403.4.2.2 [FI140] ³	Automatic Controls: Setback to 55°F (heat) and 85°F (cool); 7-day clock, 2-hour occupant override, 10-hour backup	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1)

2 Medium Impact (Tier 2)

3 Low Impact (Tier 3)

Section # & Req.ID	Final Inspection	Complies?	Comments/Assumptions
C405.5.1 [FI19] ¹	Exterior lighting power is consistent with what is shown on the approved lighting plans, demonstrating proposed watts are less than or equal to allowed watts.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Exterior Lighting fixture schedule for values.
C406.2.3 [FI66] ¹	10% heating efficiency improvement - all HVAC and Plant heating equipment is 10% more efficient than required by 2021 IECC.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C406.2.4 [FI66] ¹	10% cooling efficiency improvement - all HVAC and Plant cooling equipment is 10% more efficient than required by 2021 IECC.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C406.5 [FI49] ¹	On-site renewable energy credits - on-site renewable energy system supplies at least 0.86 Btuh or 0.25 watts per square foot of conditioned floor area OR provides at least 2 percent of the energy used within the building for mechanical and service water heating equipment and lighting regulated in C405.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.1.1 [FI57] ¹	Building operations and maintenance documents will be provided to the owner. Documents will cover manufacturers' information, specifications, programming procedures and means of illustrating to owner how building, equipment and systems are intended to be installed, maintained, and operated.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.2.1 [FI28] ¹	Commissioning plan developed by registered design professional or approved agency.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.2.3.1 [FI31] ¹	HVAC equipment, systems and system-to-system relationships have been tested to ensure proper operation.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.2.3.2 [FI10] ¹	HVAC and service water heating control systems have been tested to ensure proper operation, calibration and adjustment of controls.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.2.4 [FI29] ¹	Preliminary commissioning report completed and certified by registered design professional or approved agency.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.2.5 [FI7] ³	Furnished HVAC as-built drawings submitted within 90 days of system acceptance.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.2.5 [FI16] ³	Furnished as-built drawings for electric power systems within 90 days of system acceptance.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1)

2 Medium Impact (Tier 2)

3 Low Impact (Tier 3)

Section # & Req.ID	Final Inspection	Complies?	Comments/Assumptions
C408.2.5.1 [FI43] ¹	An air and/or hydronic system balancing report is provided for HVAC systems.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.2.5.2 [FI30] ¹	Final commissioning report due to building owner within 90 days of receipt of certificate of occupancy.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.3 [FI33] ¹	Lighting systems have been tested to ensure proper calibration, adjustment, programming, and operation.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
---	----------------------	---	------------------------	---	---------------------

UTILITY SHED PLANS

STATE OF OREGON (145 MPH) WINDS

GENERAL NOTES:

1. THIS STRUCTURE WAS DESIGNED IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL BUILDING CODE, BUILDING (ORBC).
2. ALL MATERIALS AND LABOR SHALL BE IN ACCORDANCE WITH THE ABOVE CODE AND ALL OTHER APPLICABLE LOCAL CODES AT THE TIME OF MANUFACTURE.
3. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. THE FOUNDATION PLAN IS A SEPARATE SET OF PLANS FOR APPROVAL BY LOCAL MUNICIPALITIES.
5. EXTERIOR DIMENSIONS CAN VARY BETWEEN LIMITS SHOWN @ 2'-0" o/c BUT MEMBER SPACING SHALL NOT EXCEED LIMITS AS INDICATED.
6. ALL THE FOLLOWING LUMBER SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWPA USE CATEGORY UC4B (GROUND CONTACT, HEAVY DUTY) SKIDS.
7. ALL THE FOLLOWING LUMBER SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWPA USE CATEGORY UC3B (EXTERIOR ABOVE GROUND, UNCOATED OR POOR WATER RUNOFF), FLOORS JOISTS, PLYWOOD FLOOR DECKING, AND EXTERIOR RATED WOOD STRUCTURAL PANEL SIDING.
8. LP PROSTRUCT SUB-FLOORING 1 1/2" MAY BE USED IN LIEU OF PRESSURE TREATED PLYWOOD FLOORING.
9. P.T. PLYWOOD FLOORING NOT REQUIRED WHERE THE BOTTOM OF THE FLOORING IS OVER 18" ABOVE GROUND SECTION 2304.11.2.1 ORBC 2012.
10. ALL FASTENERS AND CONNECTORS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED (G185) OR STAINLESS STEEL.
11. ALL WINDOWS WITHIN 24" OF DOORS, AND ALL GLASS IN DOORS SHALL BE SAFETY, TEMPERED, OR ACRYLIC PLASTIC SHEET.
12. FOR ROOFS WITH ASPHALT SHINGLES AND A SLOPE BETWEEN 2 TO 12 AND 4 TO 12 SHALL HAVE A DOUBLE UNDERLAYMENT APPLICATION AS REQUIRED IN ACCORDANCE WITH SECTION 1507.2.8 OF THE 2012 ORBC
13. UNDERLAYMENT SHALL CONFORM WITH SECTION 1507.2.3 (ASPHALT SHINGLES) AND 1507.4.5 (METAL ROOF PANEL) OF THE 2012 ORBC
14. ASPHALT SHINGLES SHALL CONFORM WITH SECTION 1507.2.5 OF THE 2012 IRC ATTACHMENT OF ASPHALT SHINGLES SHALL CONFORM WITH 1507.2.7 OF THE 2012 ORBC
15. FASTENERS FOR ASPHALT SHINGLES SHALL CONFORM TO SECTION 1507.2.6 OF THE 2012 ORBC
16. TIE-DOWNS SHALL MEET THE REQUIREMENTS OF ALL APPLICABLE CODES.
17. THESE PLANS HAVE NOT BEEN DESIGN FOR HVHZ REQUIREMENTS AS SET FORTH IN THE 2012 ORBC OR FOR USE AS A COMMERCIAL BUILDING.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY AND PLACEMENT OF LAWN STORAGE UNIT TO INSURE THE INTEGRITY OF THE BUILDING AND ITS COMPONENT PARTS.
20. NO FIELD REVISIONS TO ANY STRUCTURAL COMPONENT OR DEVIATION FROM THESE DRAWINGS SHALL BE MADE.
21. THE OWNER AND THE CONTRACTOR SHALL HOLD HARMLESS THE ENGINEER FROM AND AGAINST ALL LIABILITY CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING LEGAL FEES ARISING OUT OF OR RESULTING FROM ERROR OR OMISSIONS IN THE PERFORMANCE OF THE WORK BY THE CONTRACTOR.
22. SECTIONS AND DETAILS ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY AT ALL SIMILAR LOCATIONS, UNLESS OTHER SECTIONS AND DETAILS ARE SPECIALLY REFERENCED.
23. REFER TO SUPPLIED FASTENING SCHEDULE FOR FASTENING BASE ON CONNECTION AND LOCATION OF MEMBERS AS PER 2012 OREGON BUILDING CODE TABLE 2304.9.1 UNLESS NOTED OTHERWISE.
24. BUILDINGS HAVE BEEN DESIGNED FOR LP SMARTSIDE PRECISION PANEL SIDING, LP SMARTSIDE PRECISION LAP SIDING SHALL NOT BE USED.
25. FASTENERS IN LP SMARTSIDE PRECISION PANEL SIDING MUST NOT BE INSTALLED IN PANEL SIDING GROOVES IN THE FIELD OF THE PANEL SIDING OR WHEN THE PANEL SIDING GROOVES OCCUR AT CUT EDGES OF THE PANEL SIDING..
26. REFER TO THE ICC-ES EVALUATION REPORT ESR-1301 FOR ADDITIONAL DATA AND SPECIFICATIONS OF LP SMARTSIDE PRECISION PANEL SIDING. OREGON PRODUCT APPROVAL 9190.5 & 9190.6
27. MAX OPENING WIDTHS MUST COMPLY WITH DESIGN RATIOS AS PER ANSI/AF&PA SDPWS-2008. BUILDING HAVE DESIGNED TO HAVE ONLY OPENINGS WITH MAX WIDTHS EQUAL TO THOSE IN THE ENDWALL SHEAR WALL CHART.
28. STORAGE SHEDS THAT ARE NOT DESIGNED FOR HUMAN HABITATION AND THAT HAVE A FLOOR AREA OF 700 SQUARE FEET OR LESS ARE NOT REQUIRED TO COMPLY WITH THE MANDATORY WIND-BORNE-DEBRIS IMPACT STANDARDS OF THE OREGON BUILDING CODE. IN ADDITION, SUCH BUILDINGS THAT ARE 400 SQUARE FEET OR LESS AND THAT ARE INTENDED FOR USE IN CONJUNCTION WITH ONE-AND-TWO FAMILY RESIDENCES ARE NOT SUBJECT TO THE DOOR HEIGHT AND WIDTH REQUIREMENTS OF THE OREGON BUILDING CODE. SEE ORBC 1008.1.1 EXCEPT (8).
29. BUILDING HAVE BEEN DESIGNED TO HAVE ANCHORS DIRECTLY ATTACHED TO ALL FOUR CORNERS OR THE BUILDING TO RESIST TENSION FORCES FROM LATERAL WIND LOADS. THIS DESIGN CONSIDERATION MUST BE MADE BY INSTALLER WHEN ATTACHING ANCHORING SYSTEM TO BUILDING.
30. UNLESS NOTED OTHERWISE, ATTACH ALL MANUFACTURED PRODUCTS IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

NOTE:

THIS BUILDING IS NOT DESIGNED FOR HUMAN HABITATION AND DOES NOT HAVE RUNNING WATER OR SANITATION SERVICES. THIS BUILDING IS DESIGNED AS A UTILITY SHED TO STORE LAWN EQUIPMENT SUCH AS WHEEL BARROWS, GARDENING SUPPLIES, FLOWER POTS, AND CARDBOARD BOXES WITH VARIOUS SMALL ITEMS.

SITE INSTALLED ITEMS:

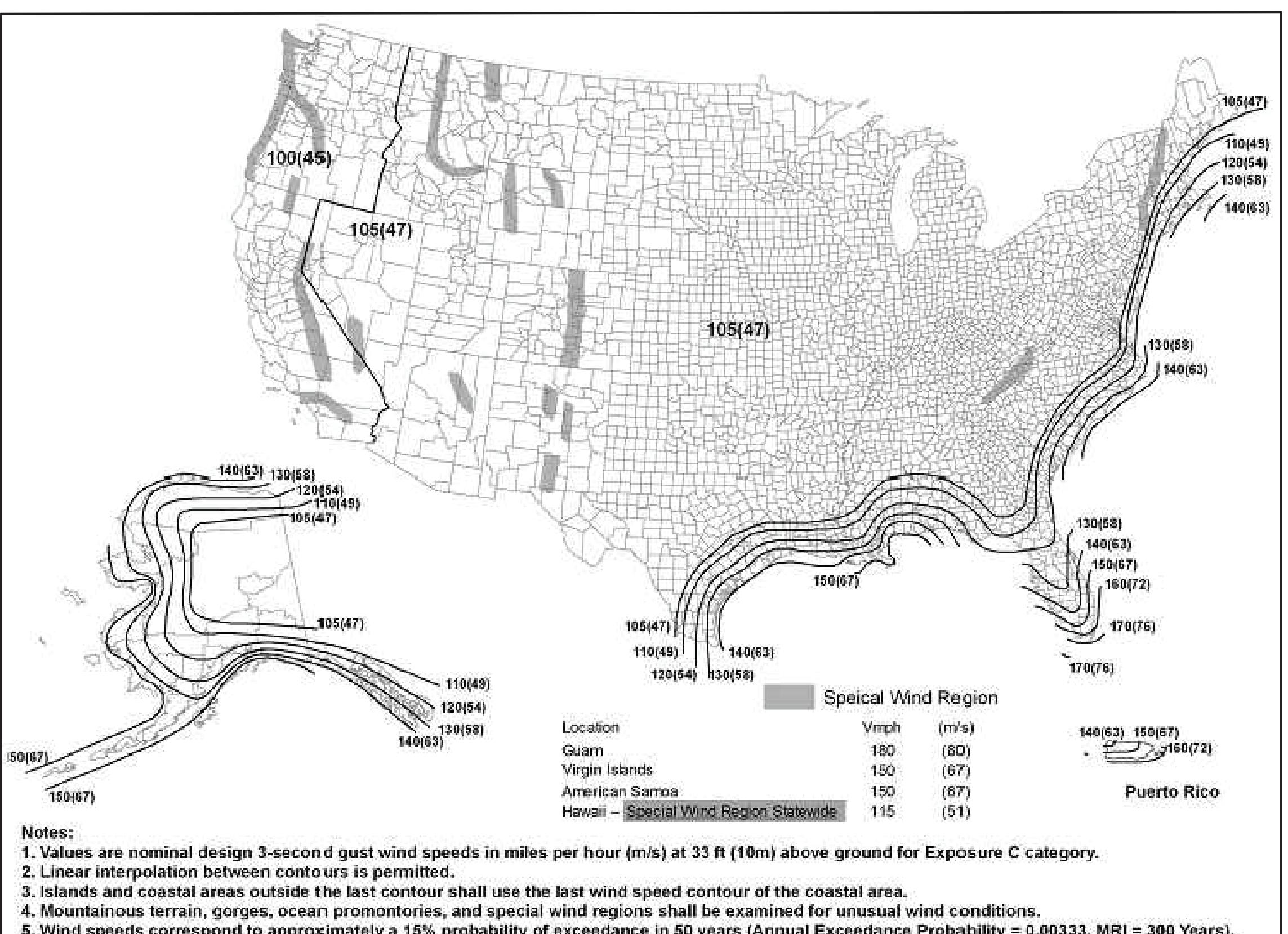
NOTE THAT THIS LIST DOES NOT NECESSARILY LIMIT THE ITEMS OF WORK AND MATERIALS THAT MAY BE REQUIRED FOR A COMPLETE INSTALLATION. ALL SITE RELATED ITEMS ARE SUBJECT TO LOCAL JURISDICTIONAL APPROVAL.

1. THE COMPLETE FOUNDATION SUPPORT AND TIE-DOWN SYSTEM.
2. RAMPS, STAIRS, AND GENERAL ACCESS TO THE BUILDING IF NECESSARY.
3. GUTTERS AND DOWNSPOUTS ON ALL BUILDINGS WITH EAVES OF LESS THAN 6 INCHES HORIZONTAL PROJECTION EXCEPT FOR GABLE END RAKES.

SHED MANUFACTURER SHALL HAVE A LIST OF ALL REQUIRED PRODUCTS THAT NEED OREGON STATE APPROVAL AVAILABLE FOR 3RD PARTY INSPECTOR AND REVIEW BY E.O.R. FOR COMPLIANCE WITH WIND LOADS



WIND CHART



DESIGN CRITERIA:	
1. WIND VELOCITY	160 MPH.
2. BUILDING CATEGORY	I
3. WIND EXPOSURE	C
4. INT. PRESSURE COEFFICIENT	± 0.18
5. ENCLOSURE CLASSIFICATION	ENCLOSED
6. BASED ON HEIGHT	15 FEET
7. OVERHANG	NO
8. FLOOR DESIGN LIVE LOAD	50 PSF
	4 PSF
9. ROOF DESIGN LIVE LOAD	20 PSF
	7 PSF
10. WALL DESIGN DEAD LOAD	3 PSF
11. SNOW LOAD	60 PSF (FOR 61-90 PSF SNOW, TRUSSES @ 16" SPECIAL ORDER)
12. CONSTRUCTION TYPE	V B
13. BUILDING OCCUPANCY =	U
14. FIRE RATING EXT. WALLS	0
15. ALLOWABLE NUMBER OF FLOORS	1
16. THE CONTRACTOR / MANUFACTURER MUST COMPLY WITH THE FOLLOWING CODES AND ALL OF THEIR AMENDMENTS / SUPPLEMENTS.	

OREGON CODE SUMMARY	
LATEST BUILDING CODE 2014 NEC	

SHEET LIST	
SHEET NUMBER	SHEET TITLE
C-1	COVER SHEET
C-2	FASTENING SCHEDULE / WIND LOADING / SHEARWALL CHART
A-1	FRAMING PLANS & DETAILS
A-2	FRAMING PLANS & DETAILS
A-3	SECTIONS
A-4	PLANS & DETAILS
A-5	TYPICAL DETAILS
A-6	TYPICAL DETAILS
A-7	OPTIONAL PORCH DETAILS
A-8	ANCHORING DETAILS & SCHEDULES
A-9	ANCHORING SPEC SHEETS

PROJECT: UTILITY SHED	
COVER SHEET & GENERAL NOTES	
DON VAN GERVE, P.E. SPECIALTY STRUCTURAL ENGINEER 860-500-9480	
 ALTERNATE DESIGN SOLUTIONS STRUCTURAL ENGINEERING DESIGN & CONSTRUCTION SERVICES PHONE: 215.355.4684 WWW.ALTERNATEDESIGNSOLUTIONS.COM	
ENGINEERING SERVICES PROVIDED FOR: PREMIER PORTABLE BUILDINGS 317 EAST STATE LINE ROAD SOUTH FULTON, TN 38257 WWW.PREMIERBUILDINGS.US	
REVISION	DESCRIPTION
1	
2	
3	
4	
5	
DATE:	5.19.21
PROJECT NO.:	21070
DRAWING BY:	JH
CHK BY:	DVG
DWG NO.:	C-1
 REGISTERED PROFESSIONAL ENGINEER 91024PE 5/14/21 MARCH 08, 2016 OREGON DONALD VAN GERVE	

1 of 11

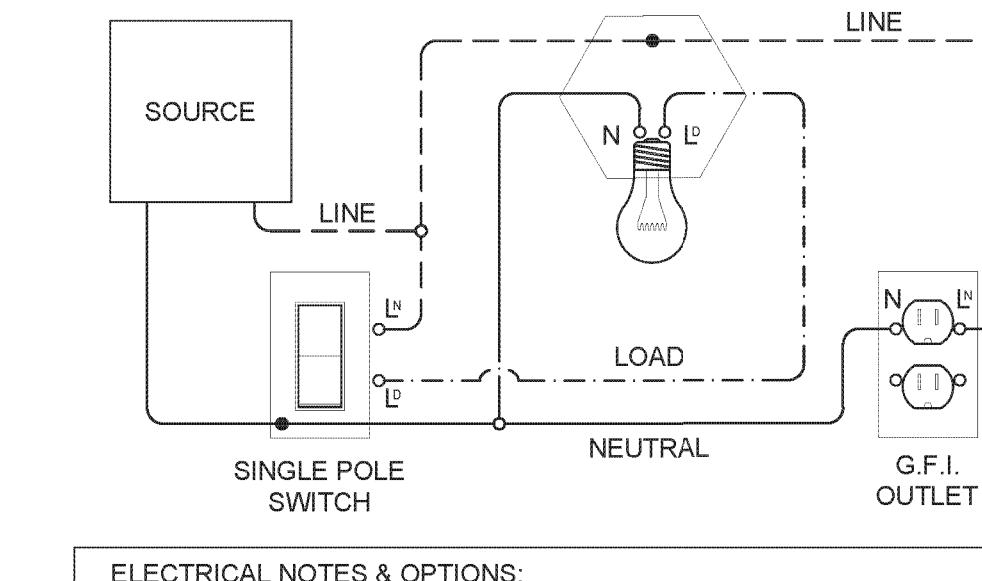
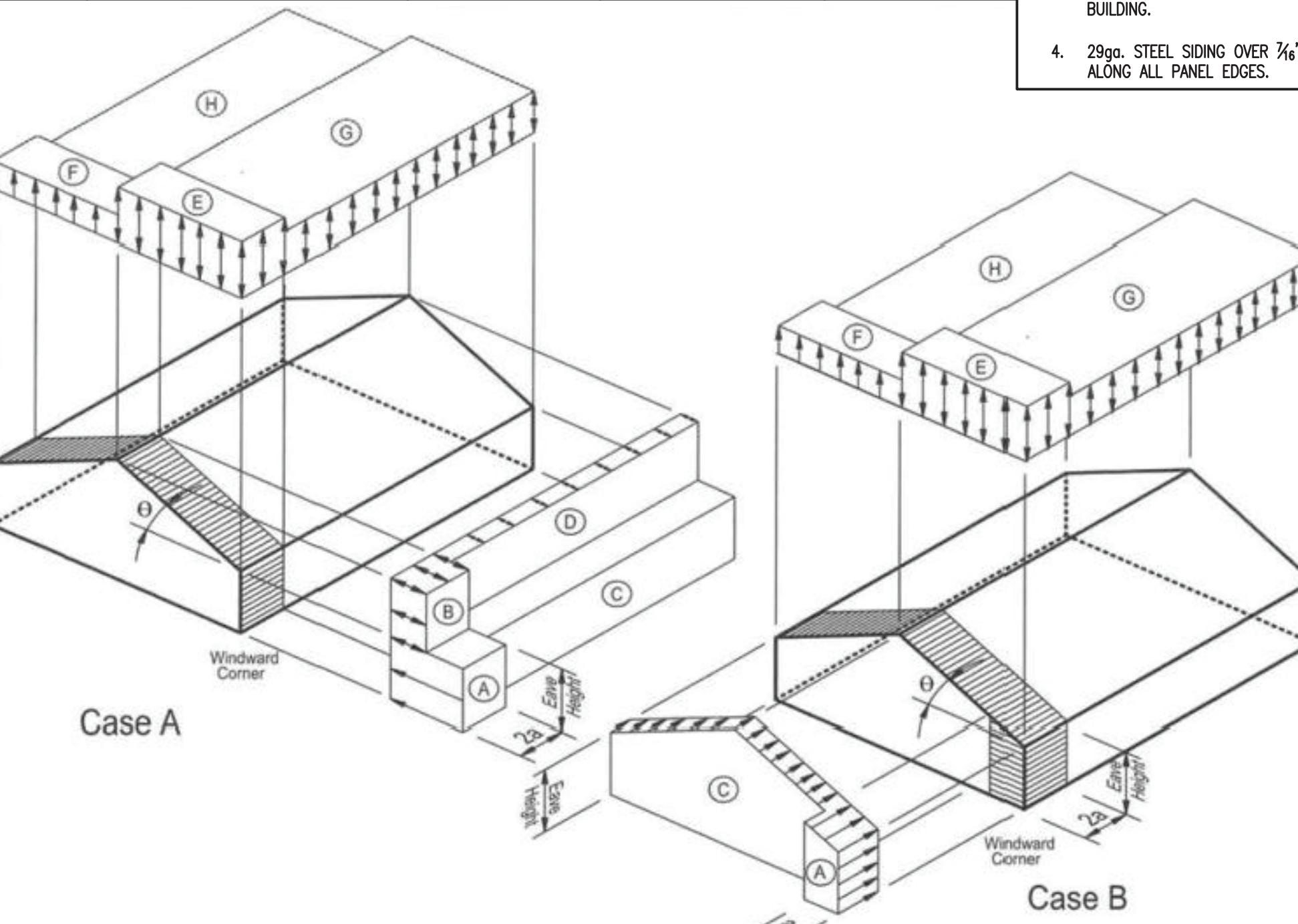
FASTENING SCHEDULE (2304.9.1 MBC)

CONNECTION	FASTENING	LOCATION
1. JOIST TO SILL OR GIRDER	3 - 8d COMMON (2 $\frac{1}{2}$ "x0.131") 3 - 3"x0.131" NAILS 3 - 3" 14 GAGE STAPLES	TOE-NAIL
2. BRIDGING TO JOIST	2 - 8d COMMON (2 $\frac{1}{2}$ "x0.131") 2 - 3"x0.131" NAILS 2 - 3" 14 GAGE STAPLES	TOE-NAIL EACH END
3. SOLE PLATE TO JOIST OR BLOCKING	16d (3 $\frac{1}{2}$ "x0.135") @ 16" o/c 3"x0.131" NAILS @ 8" o/c 3" 14 GAGE STAPLES @ 12" o/c	TYPICAL FACE NAIL
4. SOLE PLATE TO JOIST OR BLOCKING @ BRACED WALL PANEL	3 - 16d (3 $\frac{1}{2}$ "x0.135") @ 16" o/c 4 - 3"x0.131" NAILS @ 16" o/c 4 - 3" 14 GAGE STAPLES @ 16" o/c	BRACED WALL PANELS
5. TOP PLATE TO STUD	2 - 16d (3 $\frac{1}{2}$ "x0.162") 3 - 3"x0.131" NAILS 3 - 3" 14 GAGE STAPLES	END NAIL
6. STUD TO SOLE PLATE	4 - 8d COMMON (2 $\frac{1}{2}$ "x0.131") 4 - 3"x0.131" NAILS 3 - 3" 14 GAGE STAPLES 2 - 16d COMMON (3 $\frac{1}{2}$ "x0.162") 3 - 3"x0.131" NAILS 3 - 3" 14 GAGE STAPLES	TOE-NAIL END NAIL
7. DOUBLE STUDS	16d (3 $\frac{1}{2}$ "x0.135") @ 24" o/c 3"x0.131" NAILS @ 8" o/c 3" 14 GAGE STAPLES @ 8" o/c	FACE NAIL
8. DOUBLE TOP PLATES	16d (3 $\frac{1}{2}$ "x0.135") @ 16" o/c 3"x0.131" NAILS @ 12" o/c 3" 14 GAGE STAPLES @ 12" o/c 8 - 16d COMMON (3 $\frac{1}{2}$ "x0.162") 12 - 3"x0.131" NAILS 12 - 3" 14 GAGE STAPLES	TYPICAL FACE NAIL LAP SPLICING
9. BLOCKING BETWEEN JOISTS OR TRUSSES TO TOP PLATE	3 - 8d COMMON (2 $\frac{1}{2}$ "x0.131") 3 - 3"x0.131" NAILS 3 - 3" 14 GAGE STAPLES	TOE-NAIL
10. TOP PLATES, LAPS AND INTERSECTIONS	2 - 16d (3 $\frac{1}{2}$ "x0.162") 3 - 3"x0.131" NAILS 3 - 3" 14 GAGE STAPLES	FACE NAIL
11. CONTINUOUS HEADER (2) PIECES	8 - 16d COMMON (3 $\frac{1}{2}$ "x0.162")	16" o/c ALONG EDGE
12. CONTINUOUS HEADER TO STUD	4 - 8d COMMON (2 $\frac{1}{2}$ "x0.131")	TOE-NAIL
13. BUILT-UP CORNER STUDS	16d (3 $\frac{1}{2}$ "x0.135") @ 24" o/c 3"x0.131" NAILS @ 16" o/c 3" 14 GAGE STAPLES @ 16" o/c	@ 24" o/c @ 16" o/c @ 16" o/c
14. DOUBLE TOP PLATES	20d (4"x0.192") @ 32" o/c 3"x0.131" NAILS @ 24" o/c 3" 14 GAGE STAPLES @ 24" o/c 2 - 20d COMMON (4"x0.192") 3 - 3"x0.131" NAILS 3 - 3" 14 GAGE STAPLES	FACE NAIL @ TOP & BOTTOM STAGGERED ON OPP. SIDES FACE NAIL @ ENDS AND AT EACH SPLICING
15. JOIST TO BAND JOIST	3 - 16d COMMON (3 $\frac{1}{2}$ "x0.162") 4 - 3"x0.131" NAILS 4 - 3" 14 GAGE STAPLES	FACE NAIL
16. WOOD STRUCTURAL PANELS AND PARTICLE BOARD SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING) SINGLE FLOOR (COMBINATION SUBFLOOR-UNDERLAYMENT TO FRAMING)	1/2" AND LESS 6d ^f 2 $\frac{1}{2}$ "x0.113" NAIL ^b 1 $\frac{1}{2}$ " 16 GAGE ^c 8d ^d OR 2 $\frac{1}{2}$ "x0.113" NAIL ^b 2" 16 GAGE ^c 8d ^d 10d ^d OR 8d ^d 7/8" TO 1" 1 $\frac{1}{2}$ " TO 1 $\frac{1}{4}$ "	
SINGLE FLOOR (COMBINATION SUBFLOOR-UNDERLAYMENT TO FRAMING)	3/4" AND LESS 6d ^f 7/8" TO 1" 1 $\frac{1}{2}$ " TO 1 $\frac{1}{4}$ " 10d ^d OR 8d ^d	
17. 29ga. STEEL SIDING (TO FRAMING)	1/2" OR LESS 6d ^f 5/8" 8d ^f	NAILS @ 6" o/c IN FIELD AND 3" o/c ALONG ALL PANEL EDGES.
18. FIBERBOARD SHEATHING ^g	1/2" 2 $\frac{1}{2}$ " NO. 11 GAGE ROOFING NAIL ^b 6d COMMON NAIL (2 $\frac{1}{2}$ "x0.131") NO 16 GAGE STAPLE ^e NO. 11 GAGE ROOFING NAIL ^b 8d COMMON NAIL (2 $\frac{1}{2}$ "x0.131") NO 16 GAGE STAPLE ^e	

SHEARWALL CHART

BUILDING WIDTH	OPENING WIDTHS IN ENDWALL	MAX. LENGTH OF BUILDING		
		19 $\frac{1}{2}$ " T1-11 ¹	3/8" LP SMARTSIDE PANEL ²	ALUMINUM OVER 7/16" OSB ⁴
8'-0"	3'-0" MAX.	24'-0"	20'-0"	24'-0"
	3'-0" MAX.	30'-0"	30'-0"	30'-0"
	6'-0"		16'-0"	
10'-0"	3'-0" MAX.	36'-0"	36'-0"	36'-0"
	6'-0"		24'-0"	
	9'-0"	28'-0"	12'-0"	24'-0"
11'-2"	3'-0" MAX.	40'-0"	40'-0"	40'-0"
	6'-0"		34'-0"	
	9'-0"	40'-0"	20'-0"	40'-0"
14'-0"	6'-0" MAX.	40'-0"	40'-0"	40'-0"
	9'-0"		30'-0"	

- a. COMMON OR BOX NAIL ARE PERMITTED TO BE USED EXCEPT WHERE OTHERWISE STATED.
- b. NAILED SPACED @ 6" o/c AT EDGES, 12" AT INTERMEDIATE SUPPORTS EXCEPT 6" AT SUPPORTS WHERE SPANS ARE 48" OR MORE, FOR NAILING OF WOOD STRUCTURAL PANELS AND PARTICLE BOARD DIAPHRAGMS AND SHEAR WALLS, REFER TO SECTION 2305 FBC. NAILS FOR WALL SHEATHING ARE PERMITTED TO BE COMMON, BOX OR CASING.
- c. COMMON OR DEFORMED SHANK (6d - 2"x0.113"; 8d - 2 $\frac{1}{2}$ "x0.131"; 10d 3"x0.148").
- d. COMMON (6d - 2"x0.113"; 8d - 2 $\frac{1}{2}$ "x0.131"; 10d 3"x0.148").
- e. DEFORMED SHANK (6d - 2"x0.113"; 8d - 2 $\frac{1}{2}$ "x0.131" 10d 3"x0.148").
- f. CORROSION-RESISTANT SIDING (60-1 $\frac{1}{2}$ "x0.106"; 8d - 2 $\frac{1}{2}$ "x0.128") OR CASING (602"x0.099"; 8d - 2 $\frac{1}{2}$ "x0.113") NAIL.
- g. FASTENERS SPACED 3" o/c AT EXTERIOR EDGES AND 6" o/c AT INTERMEDIATE SUPPORTS WHEN USED AS STRUCTURAL SHEATHING.
- h. CORROSION-RESISTANT ROOFING NAILS w/ 7/16" DIAMETER HEAD AND 1 1/2" LENGTH FOR 1/2" SHEATHING AND 1 3/4" LENGTH FOR 5/8" SHEATHING.
- i. CORROSION-RESISTANT STAPLES WITH NOMINAL 7/16" CROWN OR 1" CROWN AND 1 1/2" LENGTH FOR 1/2" SHEATHING AND 1 1/2" LENGTH FOR 5/8" SHEATHING. PANEL SUPPORTS @ 16" o/c (20" IF STRENGTH AXIS IS THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED.)
- j. FOR ROOF SHEATHING APPLICATIONS, 8d NAILS (2 $\frac{1}{2}$ "x0.113") ARE THE MINIMUM REQUIRED FOR WOOD STRUCTURAL PANELS. STAPLES SHALL HAVE A MINIMUM CROWN WIDTH OF 7/16".
- k. FOR ROOF SHEATHING APPLICATIONS, FASTENERS SPACED 4" o/c AT EDGES, 8" o/c AT INTERMEDIATE SUPPORTS.
- l. FASTENERS SPACED 4" o/c AT EDGES, 8" o/c AT INTERMEDIATE SUPPORTS FOR SUBFLOOR AND WALL SHEATHING AND 3" o/c AT EDGES, 6" o/c AT INTERMEDIATE SUPPORTS FOR ROOF SHEATHING.
- m. FASTENERS SPACED 4" o/c AT EDGES, 8" o/c IN FIELD AND 3" o/c ALONG ALL PANEL EDGES.
- n. 19 $\frac{1}{2}$ " T1-11 SHALL BE FASTENED USING 8d COMMON OR DEFORMED NAILS @ 6" o/c IN FIELD AND 3" o/c ALONG ALL PANEL EDGES.
- o. 3/8" LP SMARTPANEL SHALL BE FASTENED USING 8d COMMON OR DEFORMED NAILS @ 6" o/c IN FIELD AND 3" o/c ALONG ALL PANEL EDGES.
- p. LIMITATIONS ON THE TOTAL OPENING DIMENSIONS SHALL BE BASED ON THE SHEAR WALL HEIGHT TO WIDTH RATIO OF 3.5:1 AND SHALL NOT EXCEED (%) OF TOTAL LENGTH OF BUILDING. NAILING IN SIDEWALL USE 8d NAILS COMMON OR DEFORMED AT 6" EVERYWHERE WHEN TOTAL OPENING WIDTHS IN SIDEWALL ARE LESS THAN (%) OF TOTAL LENGTH OF BUILDING.
- q. 29ga. STEEL SIDING OVER 7/16" OSB FASTENED USING 8d COMMON OR DEFORMED NAILS @ 6" o/c IN FIELD AND 3" o/c ALONG ALL PANEL EDGES.



ELECTRICAL WIRING DIAGRAM
SCALE NOT TO SCALE

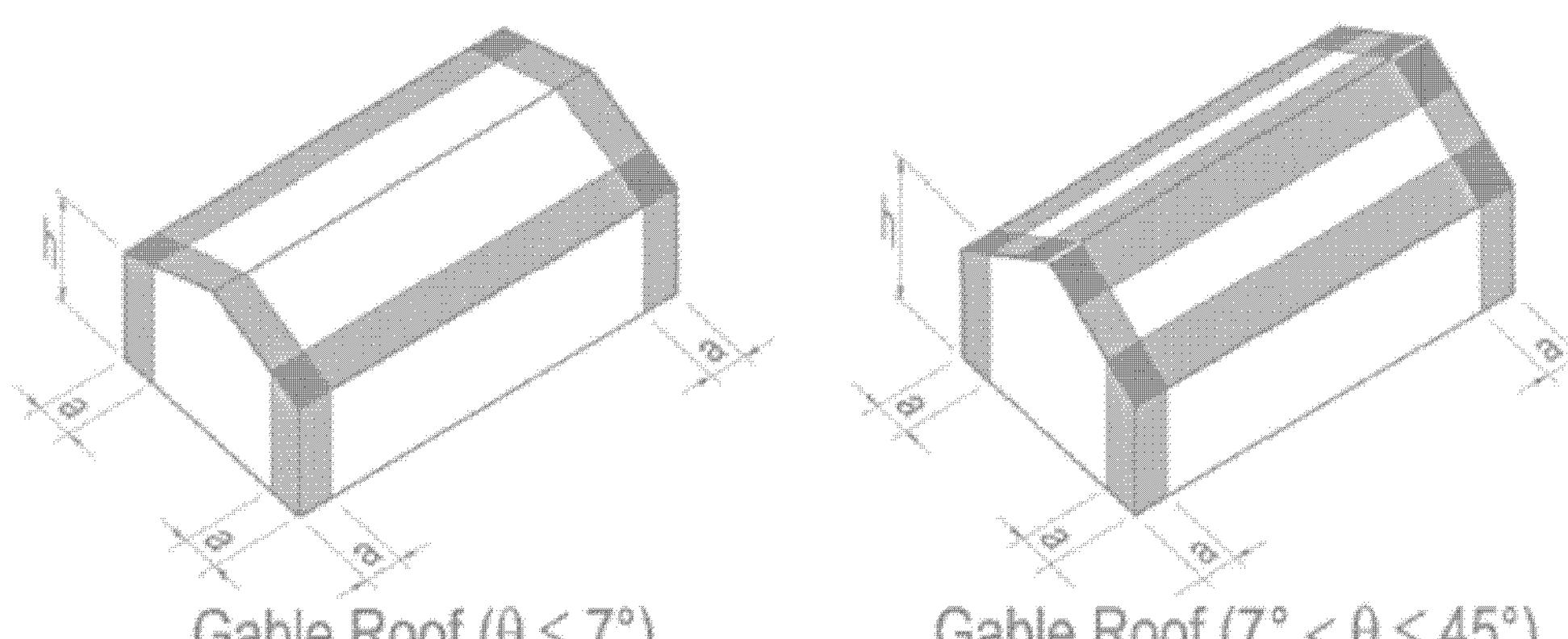
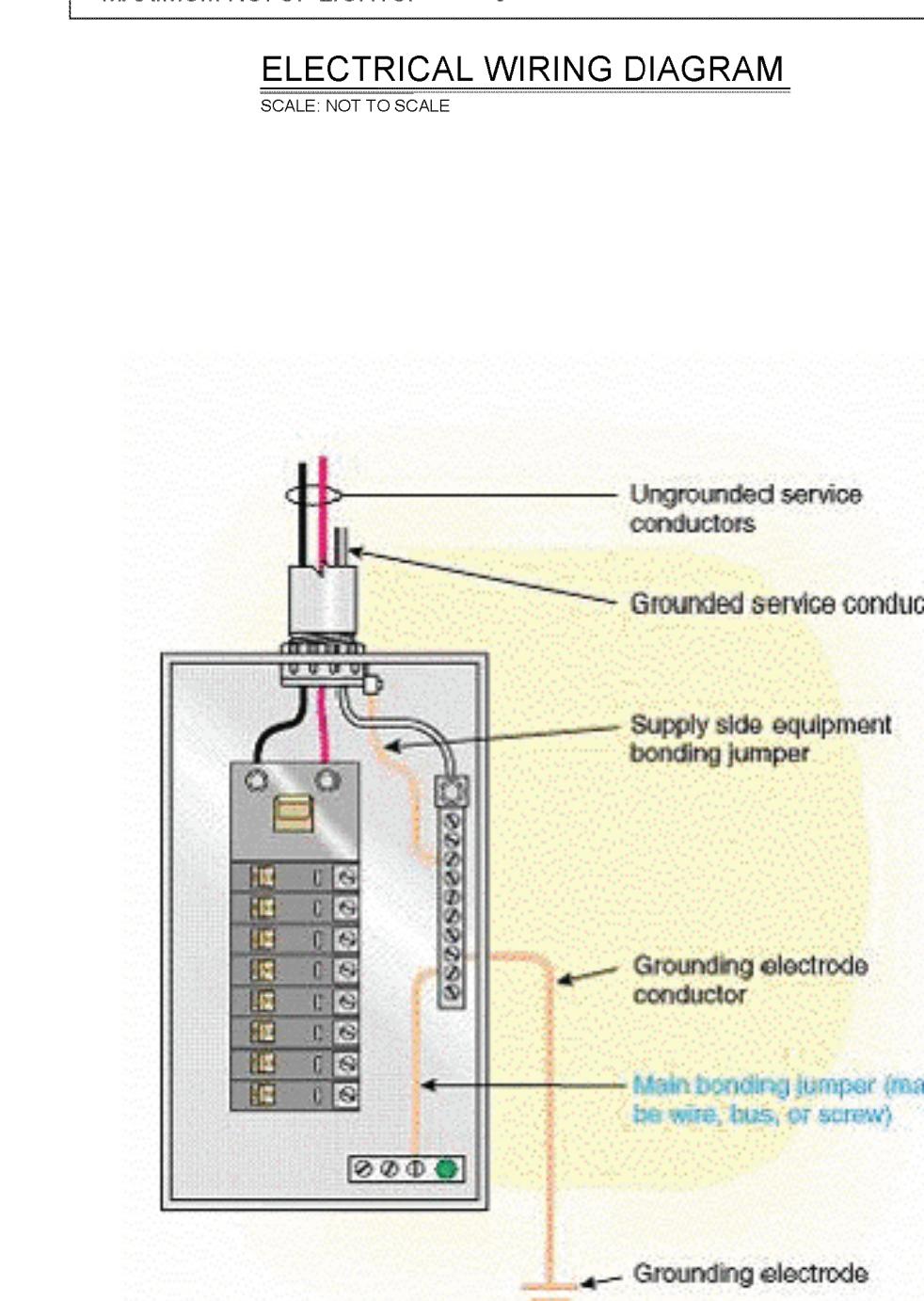
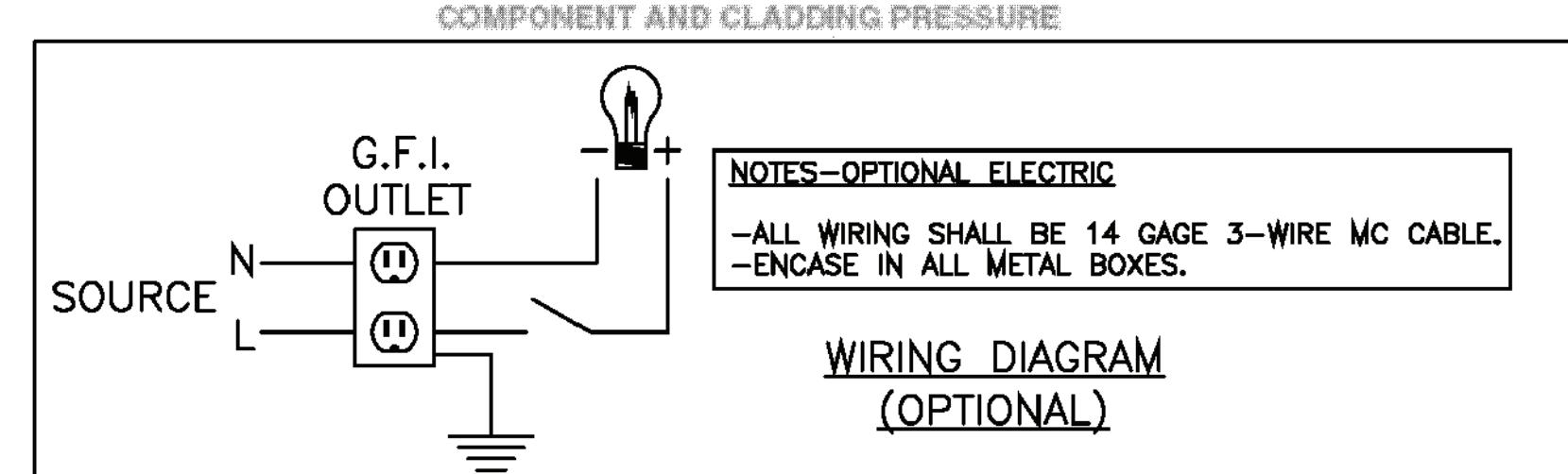


FIGURE 1609.6.2.2
COMPONENT AND CLADDING PRESSURE



AREA FOR APPROVAL STAMPS

C-2



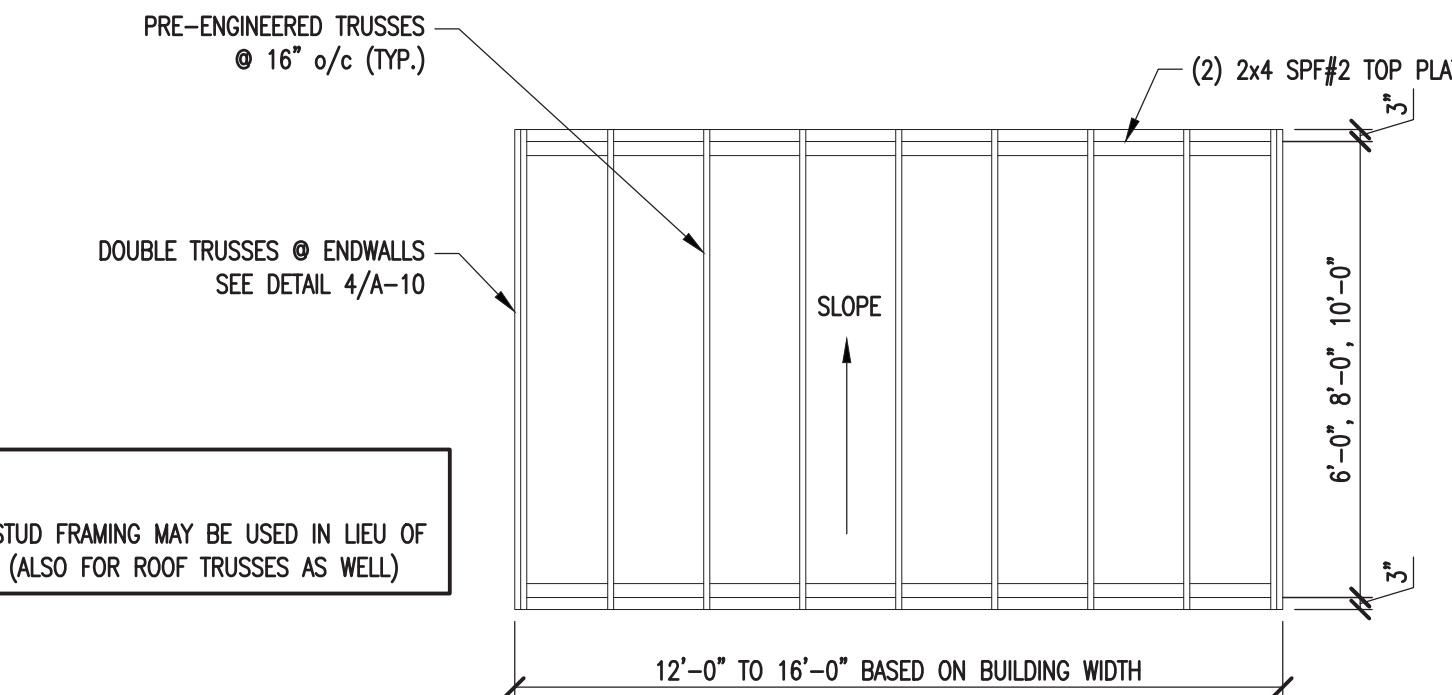
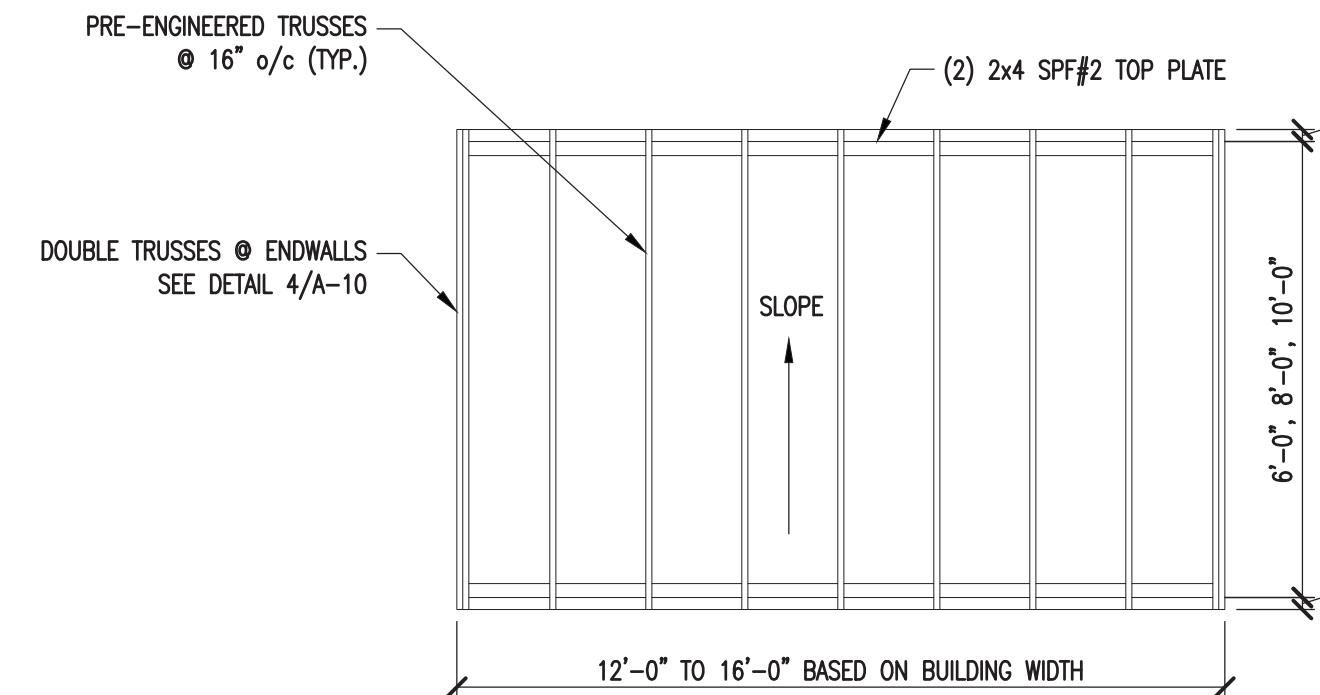
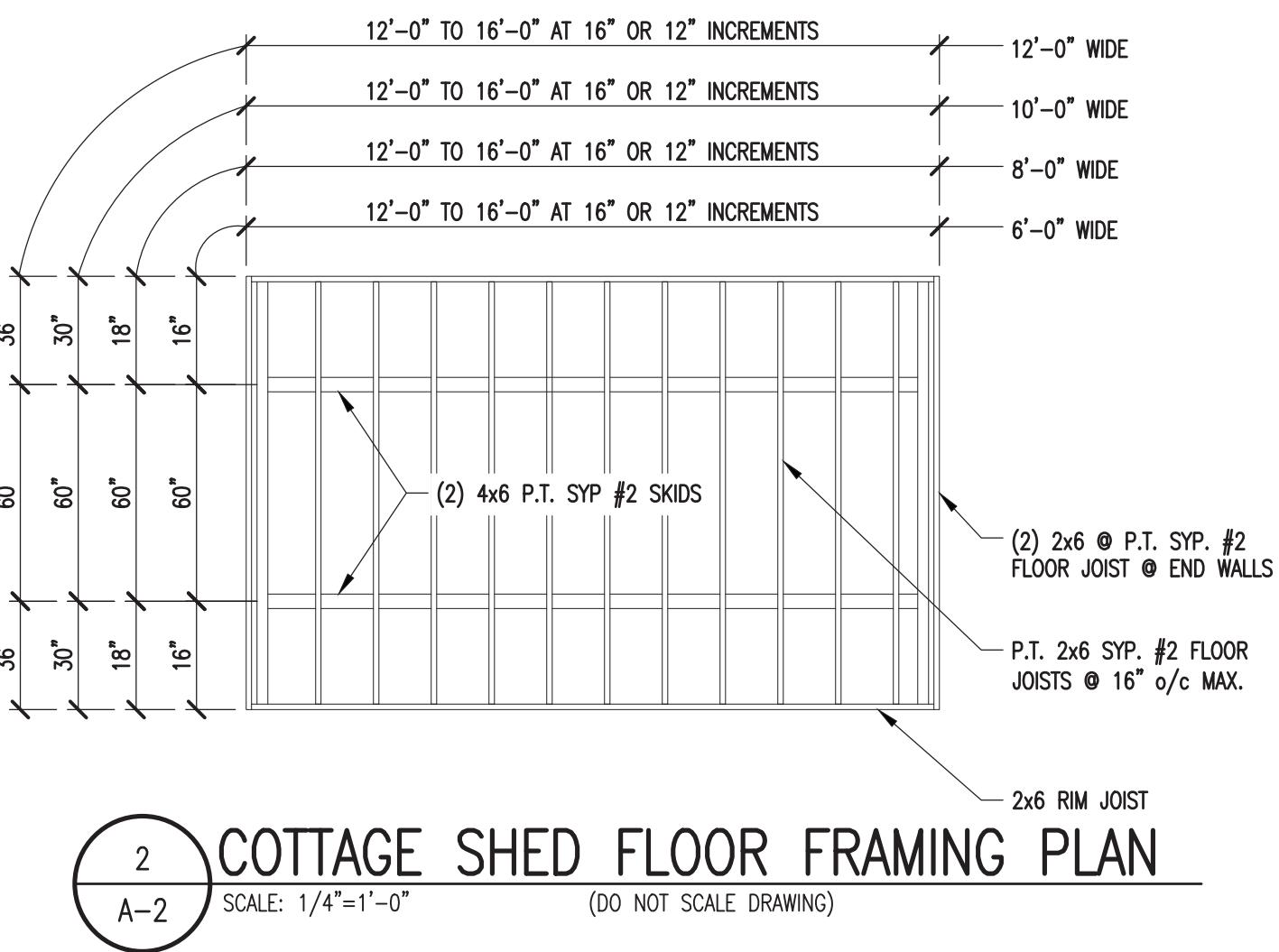
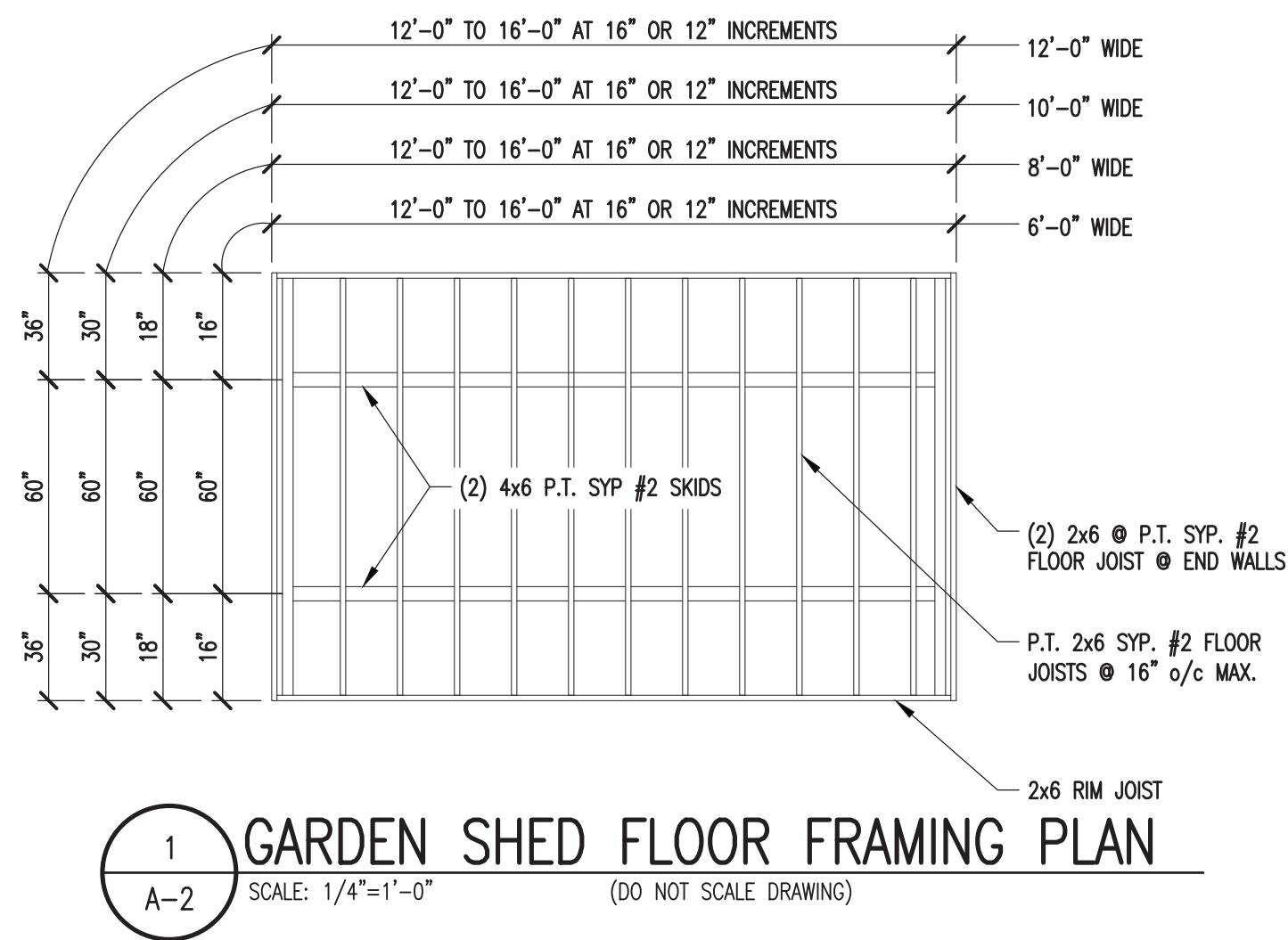
PROJECT: UTILITY SHED

FASTENING SCHEDULE / WIND LOADING
DON VAN GERVE, P.E.
SPECIALTY STRUCTURAL ENGINEER
860-500-9480

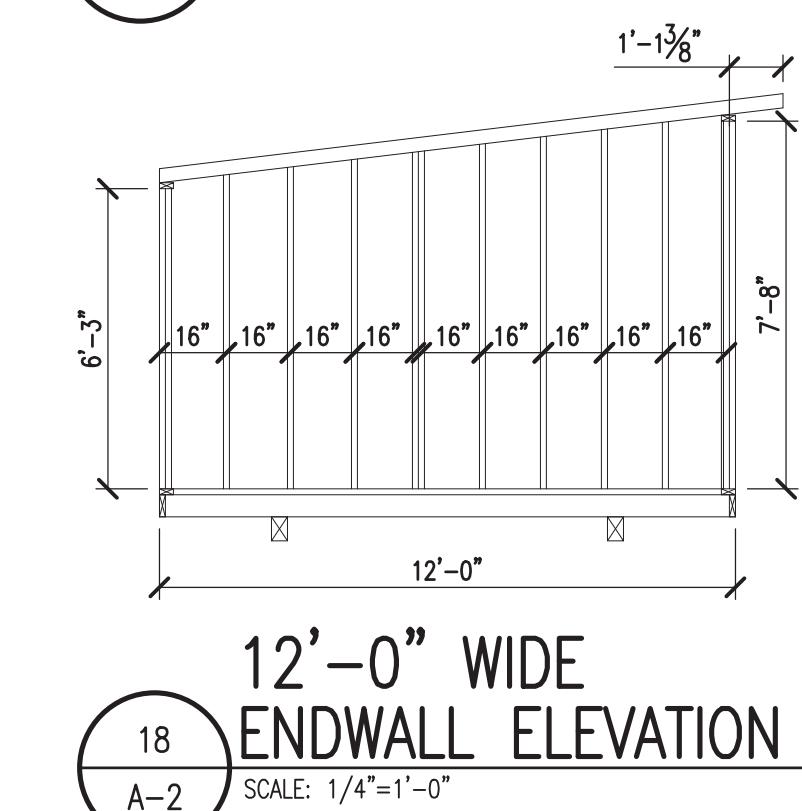
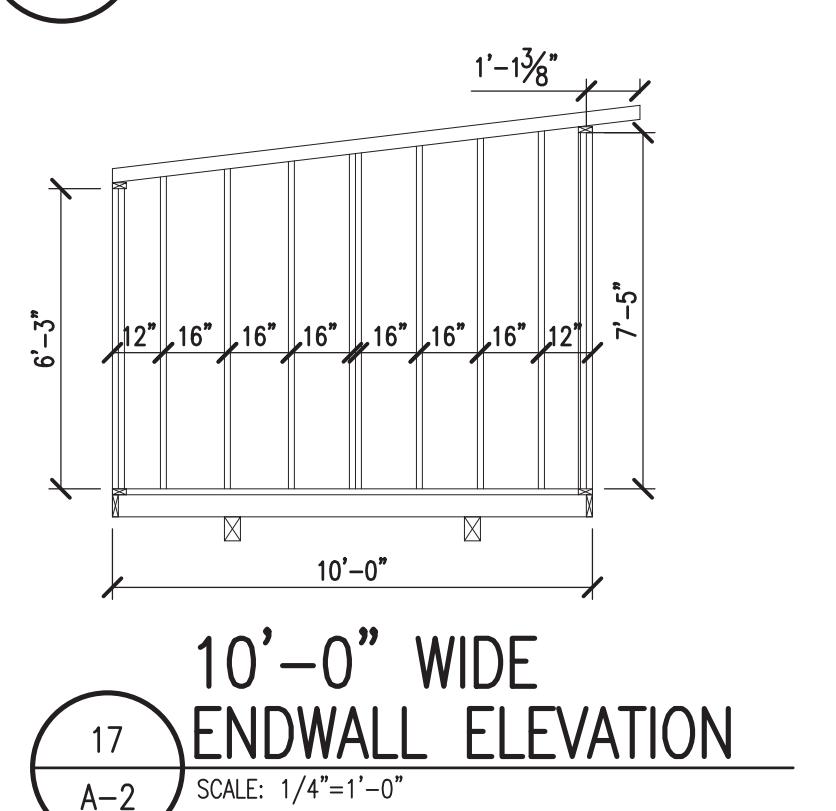
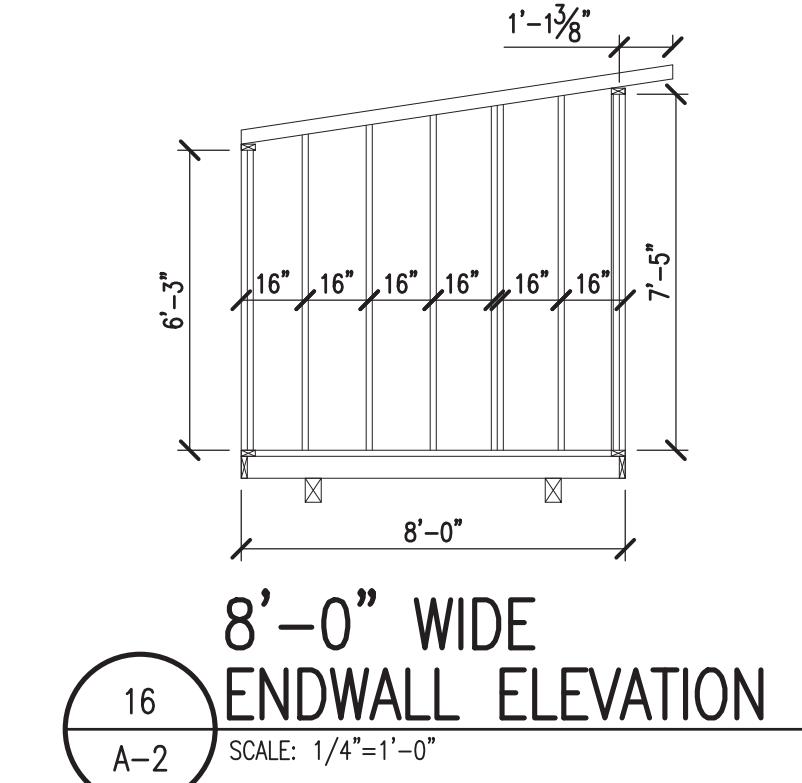
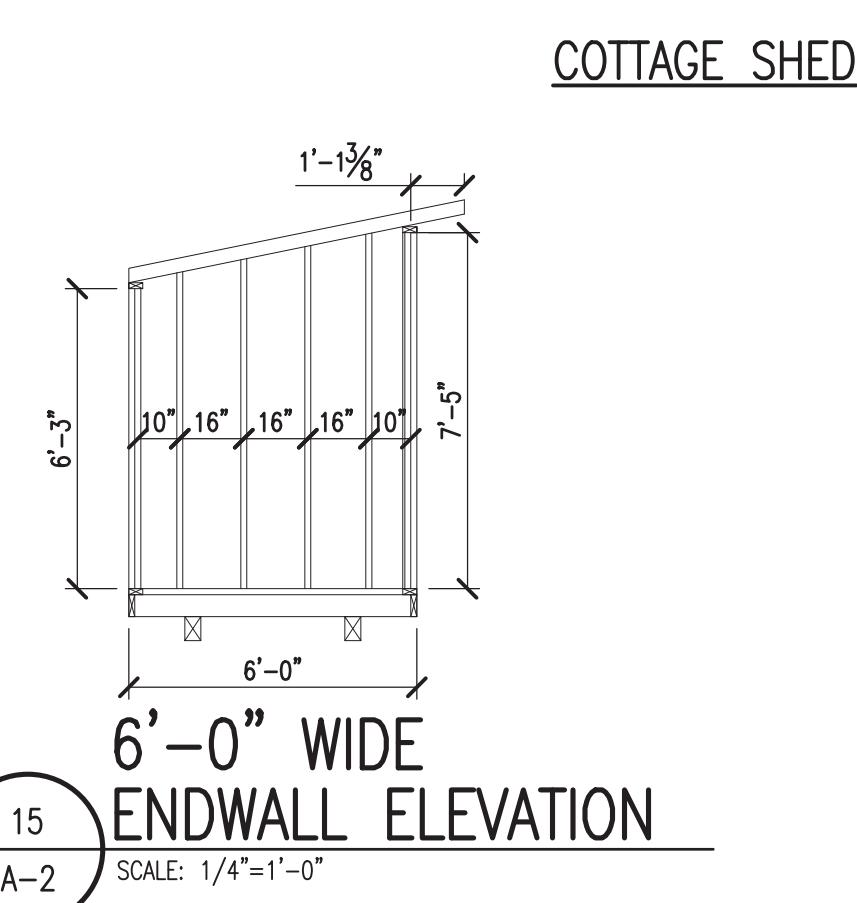
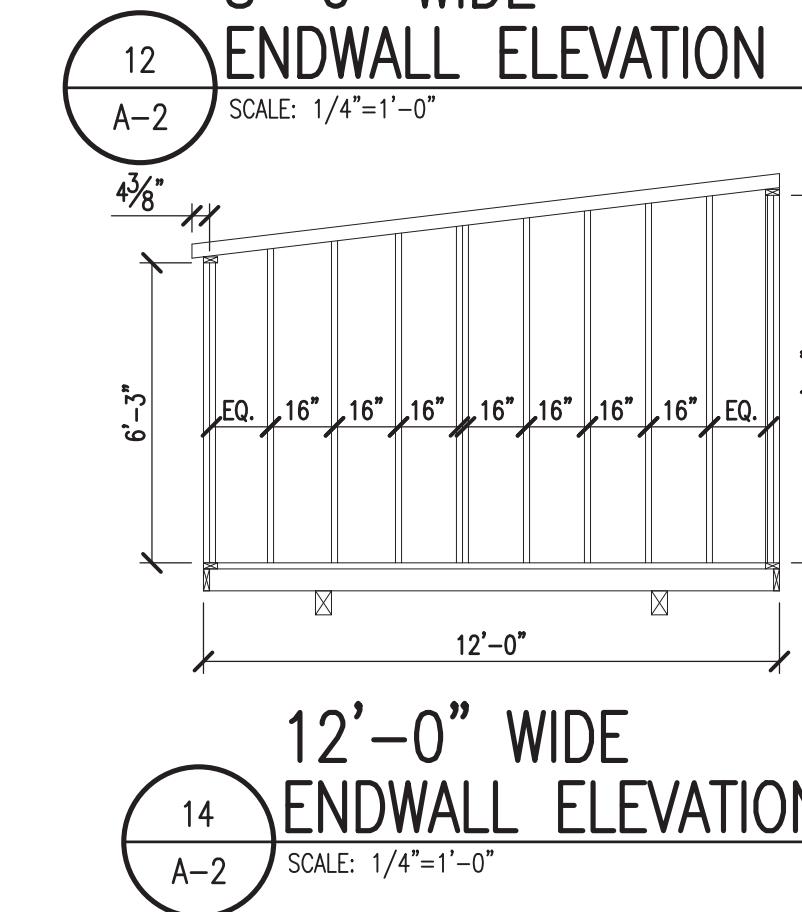
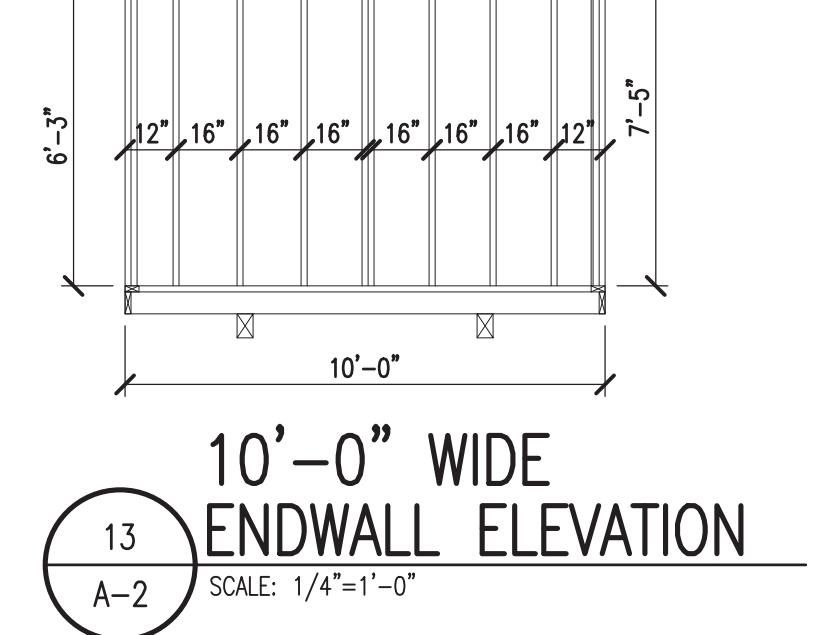
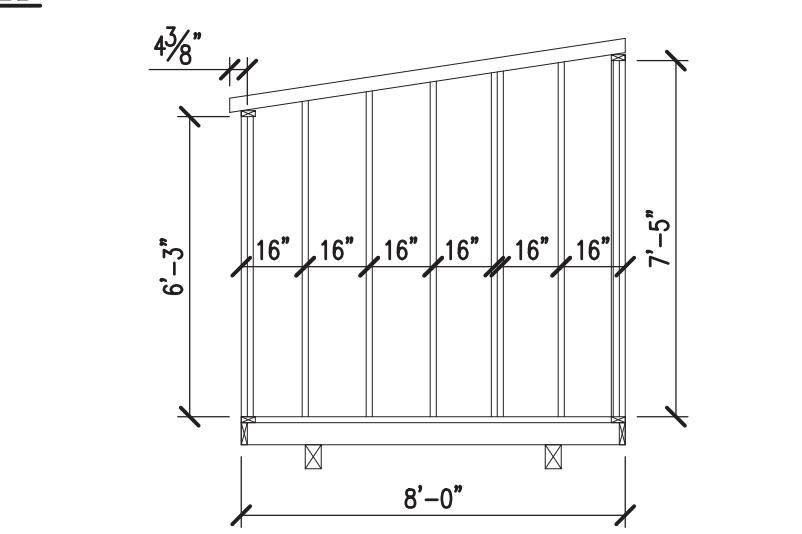
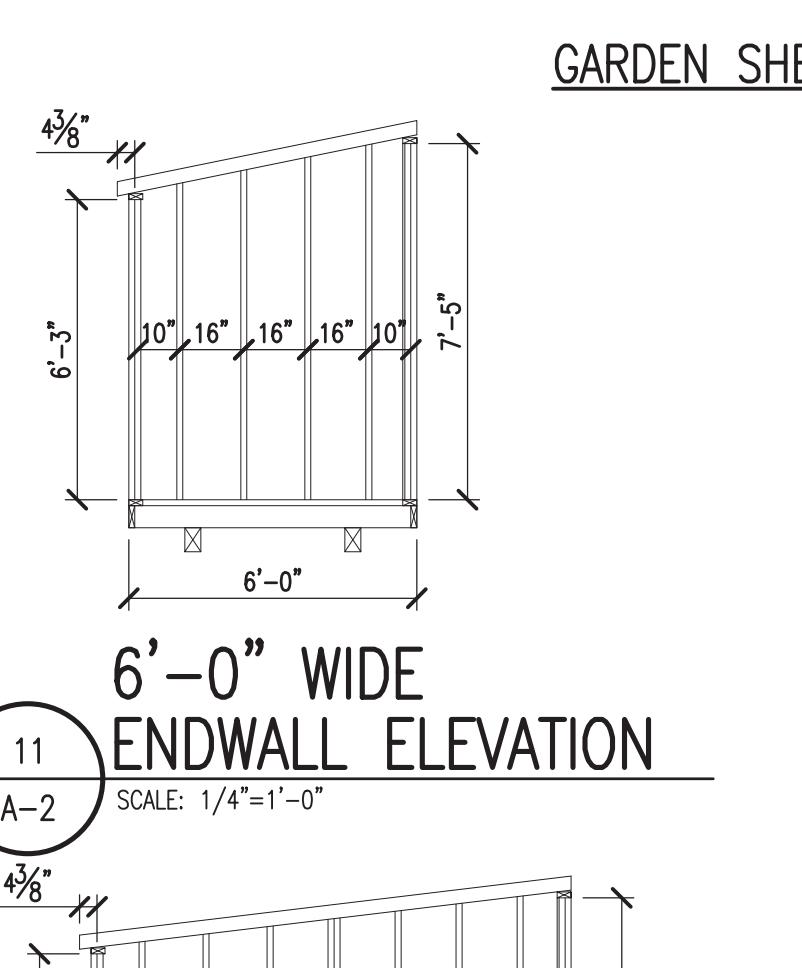
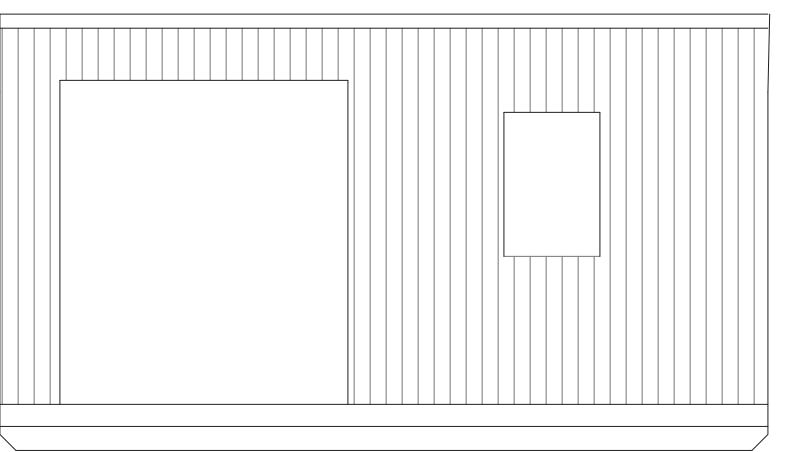
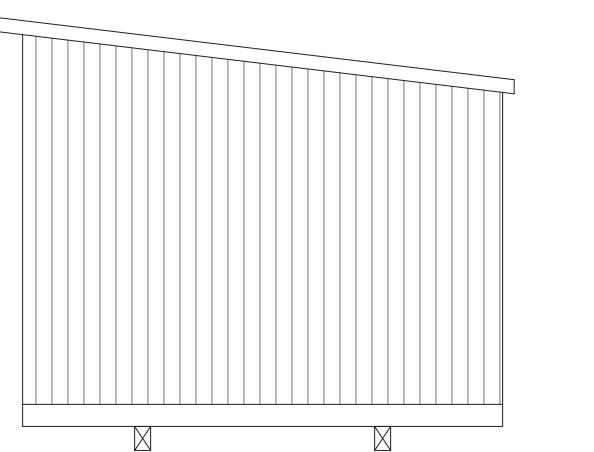
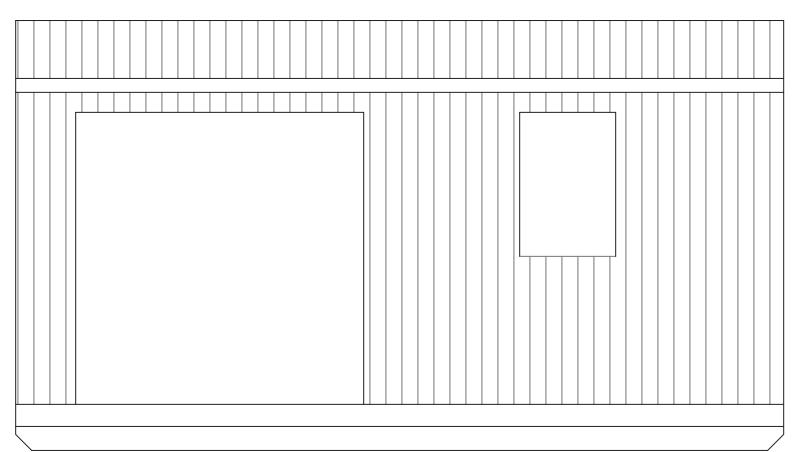
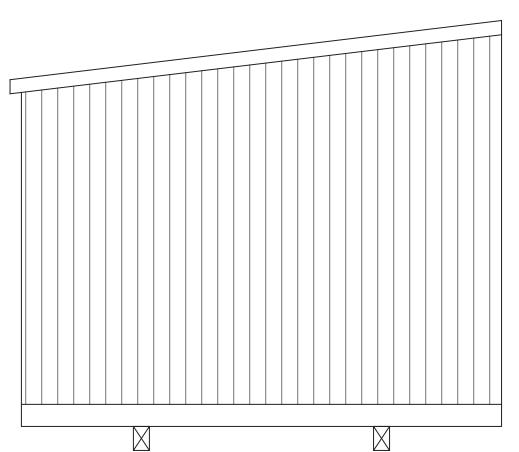
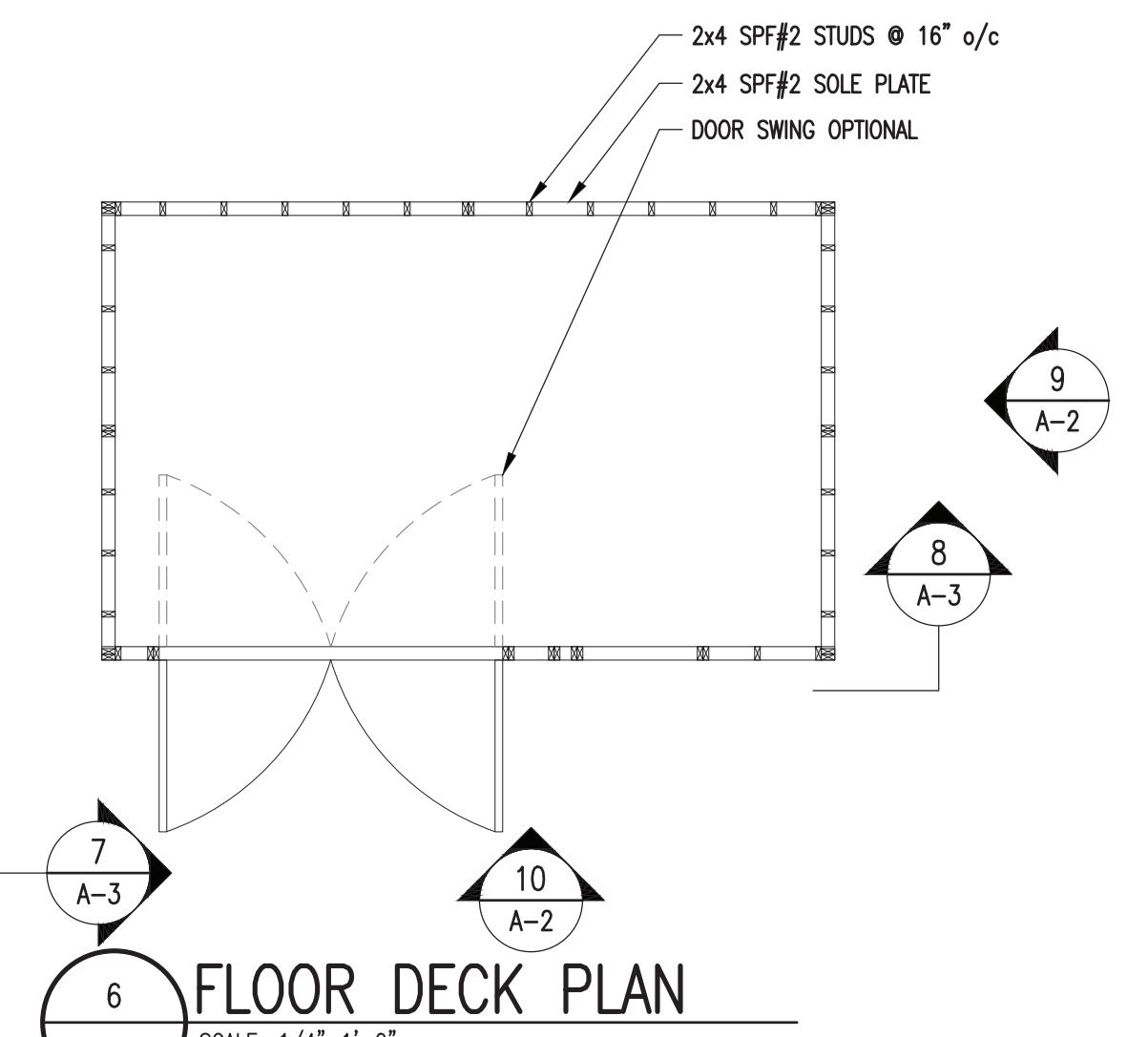
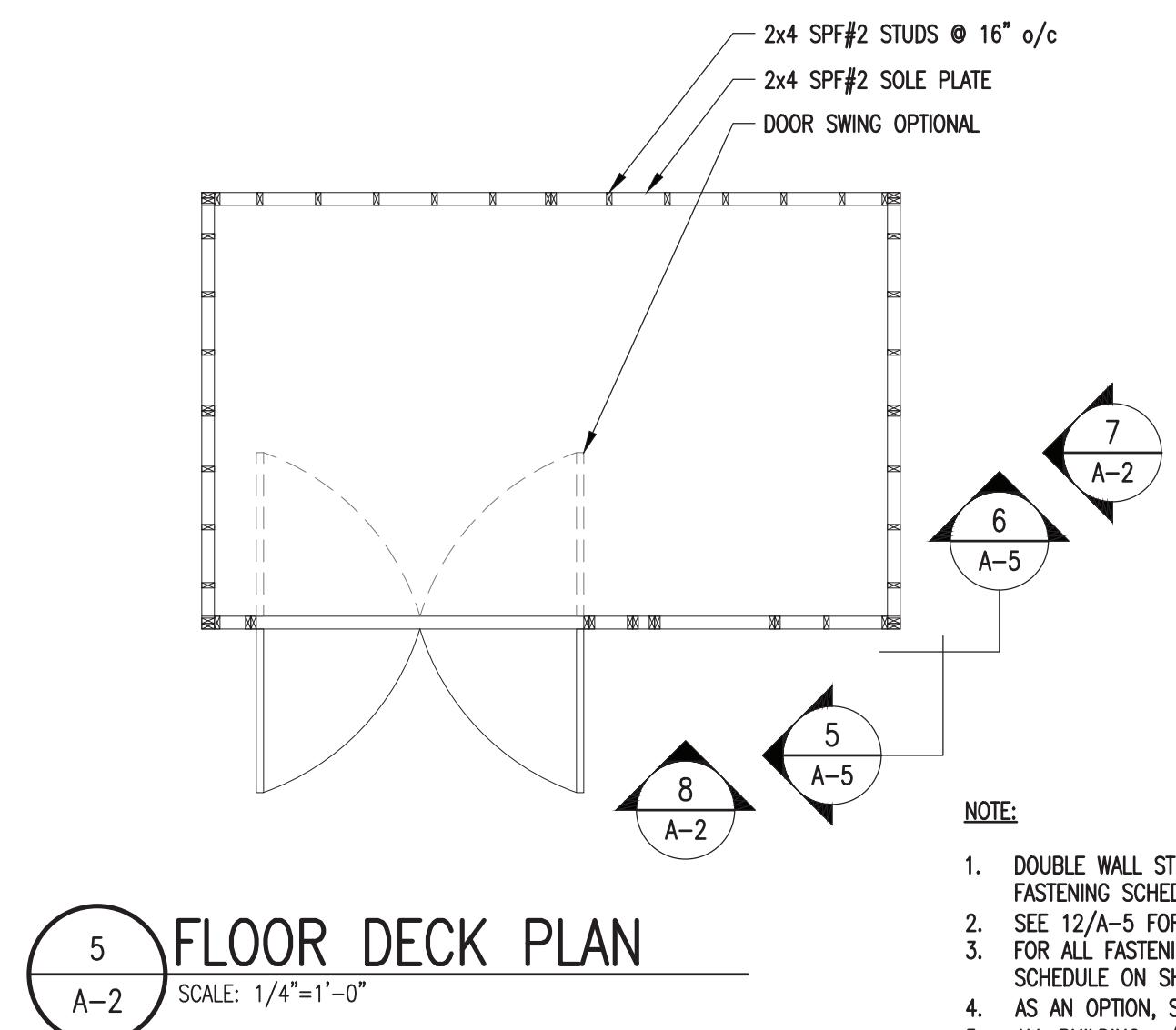
ADS ALTERNATE DESIGN SOLUTIONS
STRUCTURAL ENGINEERING DESIGN & CONSTRUCTION SERVICES
PHONE: 215.355.4684
WWW.ALTERNATEDESIGNSOLUTIONS.COM

ENGINEERING SERVICES PROVIDED FOR:
PREMIER PORTABLE BUILDINGS
317 EAST STATE LINE ROAD
SOUTH FULTON, TN 38257
WWW.PREMIERBUILDINGS.US

REVISION	DESCRIPTION	DATE	BY
1			
2			
3			
4			
5			
DATE:	5.19.21		
PROJECT NO.:	21070		
DRAWING BY:	JH		
CHK BY:	DVG		
DWG NO.:			
C-2			
2 of 11			



NOTE:
1. 2x6 STUD FRAMING MAY BE USED IN LIEU OF
2x4's (ALSO FOR ROOF TRUSSES AS WELL)



PROJECT:
UTILITY SHED

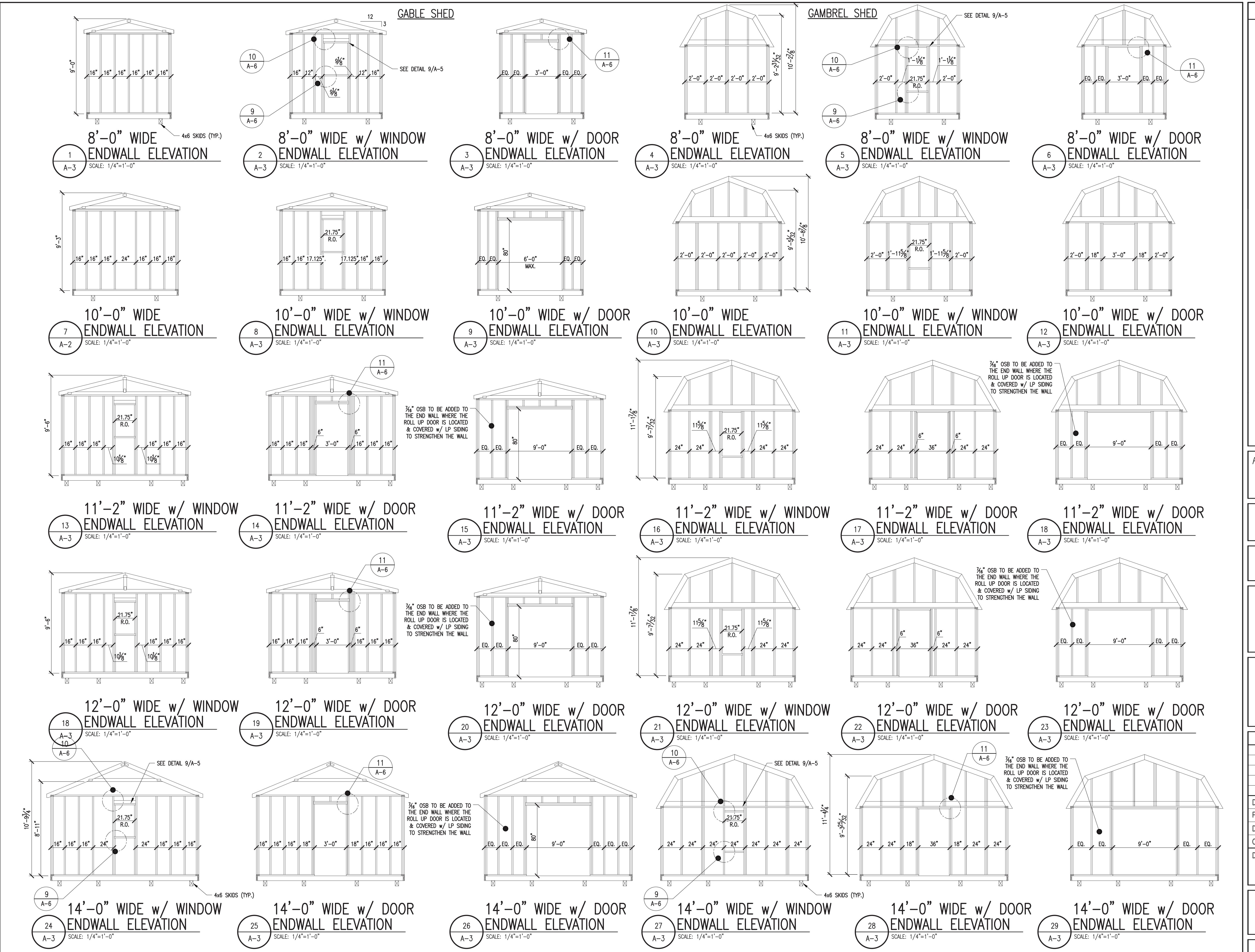
GARDEN & COTTAGE SHEDS
FLOOR DECK FRAMING PLANS & DETAILS

DON VAN GERVE, P.E.
SPECIALTY STRUCTURAL ENGINEER
860-500-9480



ENGINEERING SERVICES PROVIDED FOR:
PREMIER PORTABLE BUILDINGS
317 EAST STATE LINE ROAD
SOUTH FULTON, TN 38257
WWW.PREMIERBUILDINGS.US

REVISION	DESCRIPTION	DATE	BY
1			
2			
3			
4			
5			
DATE:	5.19.21		
PROJECT NO.:	21070		
DRAWING BY:	JH		
CHK BY:	DVG		
DWG NO.:	A-2		
REGISTERED PROFESSIONAL ENGINEER 91024PE 5/19/21			
OREGON DONALD VAN GERVE MARCH 08, 2019			



AREA FOR APPROVAL STAMPS

PROJECT: **UTILITY SHED**

SECTIONS

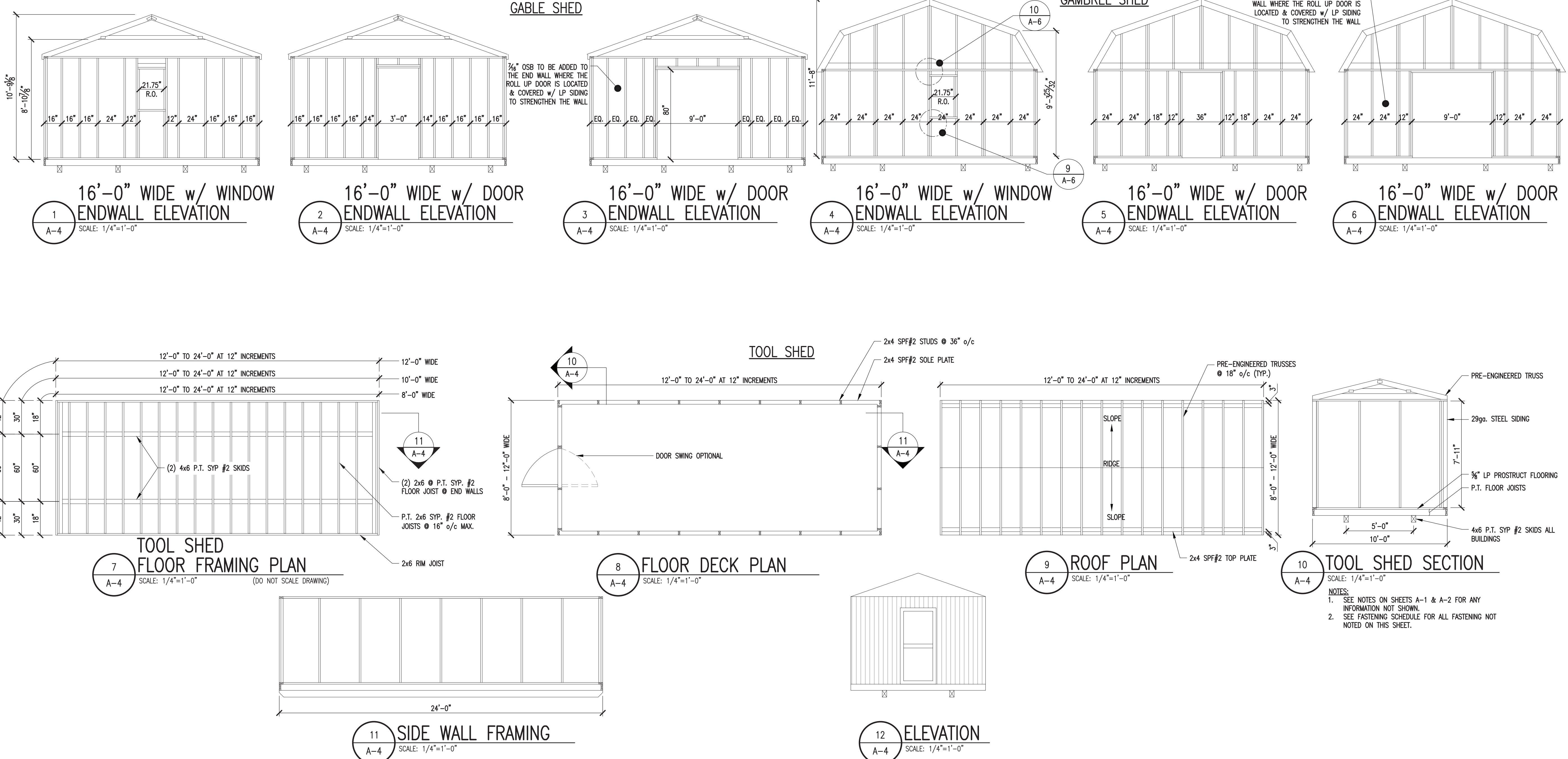
DON VAN GERVE, P.E.
SPECIALTY STRUCTURAL ENGINEER
860-500-9480



ALTERNATE DESIGN SOLUTIONS
STRUCTURAL ENGINEERING DESIGN & CONSTRUCTION SERVICES
PHONE: 215.355.4684
WWW.ALTERNATEDESIGNSOLUTIONS.COM

ENGINEERING SERVICES PROVIDED FOR:
PREMIER PORTABLE BUILDINGS
317 EAST STATE LINE ROAD
SOUTH FULTON, TN 38257
WWW.PREMIERBUILDINGS.US

REVISION	DESCRIPTION	DATE	BY
1			
2			
3			
4			
5			
DATE: 5.19.21			
PROJECT NO.: 21070			
DRAWING BY: JH			
CHK BY: DVG			
DWG NO.: A-3			
			 <p>REGISTERED PROFESSIONAL ENGINEER 91024PE 5/19/21 OREGON MARCH 08, 2016 DONALD VAN GERVE</p>



PROJECT: **UTILITY SHED**

SECTION CUTS

RAFTSMAN & TOOL SHFD

DON VAN GERVE, P.E.
SPECIALTY STRUCTURAL ENGINEER
860-500-9480



ALTERNATE DESIGN SOLUTIONS
STRUCTURAL ENGINEERING DESIGN & CONSTRUCTION SERVICES
PHONE: 215.355.4684
WWW.ALTERNATEDESIGNSOLUTIONS.COM

ENGINEERING SERVICES PROVIDED FOR:
PREMIER PORTABLE BUILDINGS
317 EAST STATE LINE ROAD
SOUTH FULTON, TN 38257
WWW.PREMIERBUILDINGS.US

REVISION	DESCRIPTION	DATE	BY
1			
2			
3			
4			

DATE: 5.19.21

PROJECT NO.: 21070

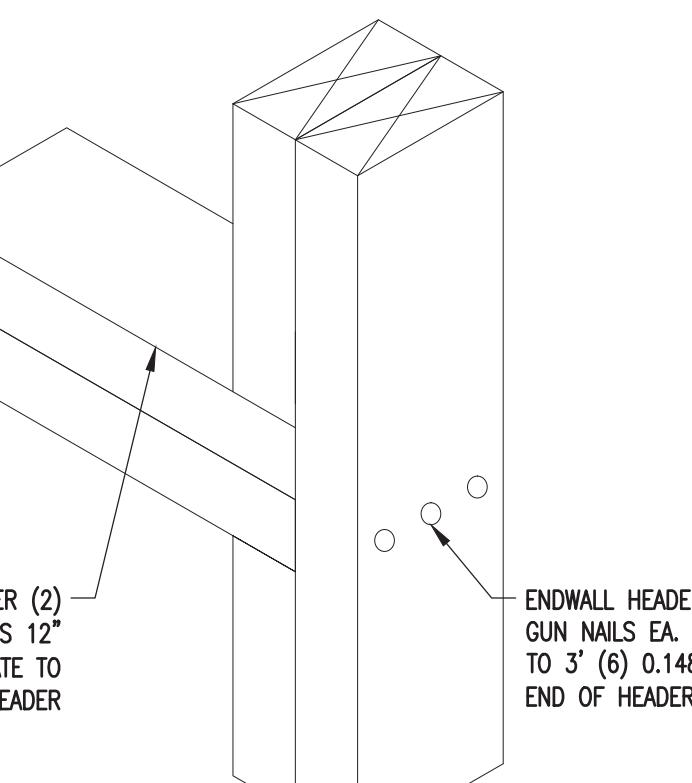
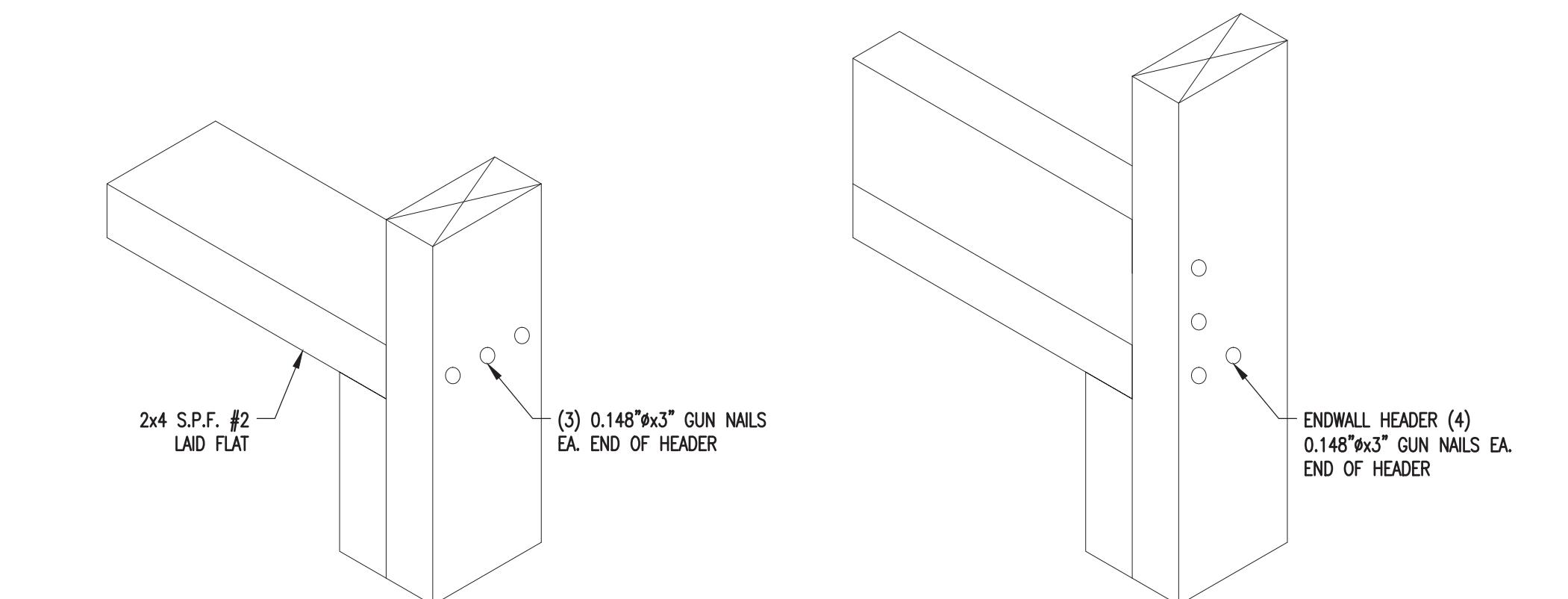
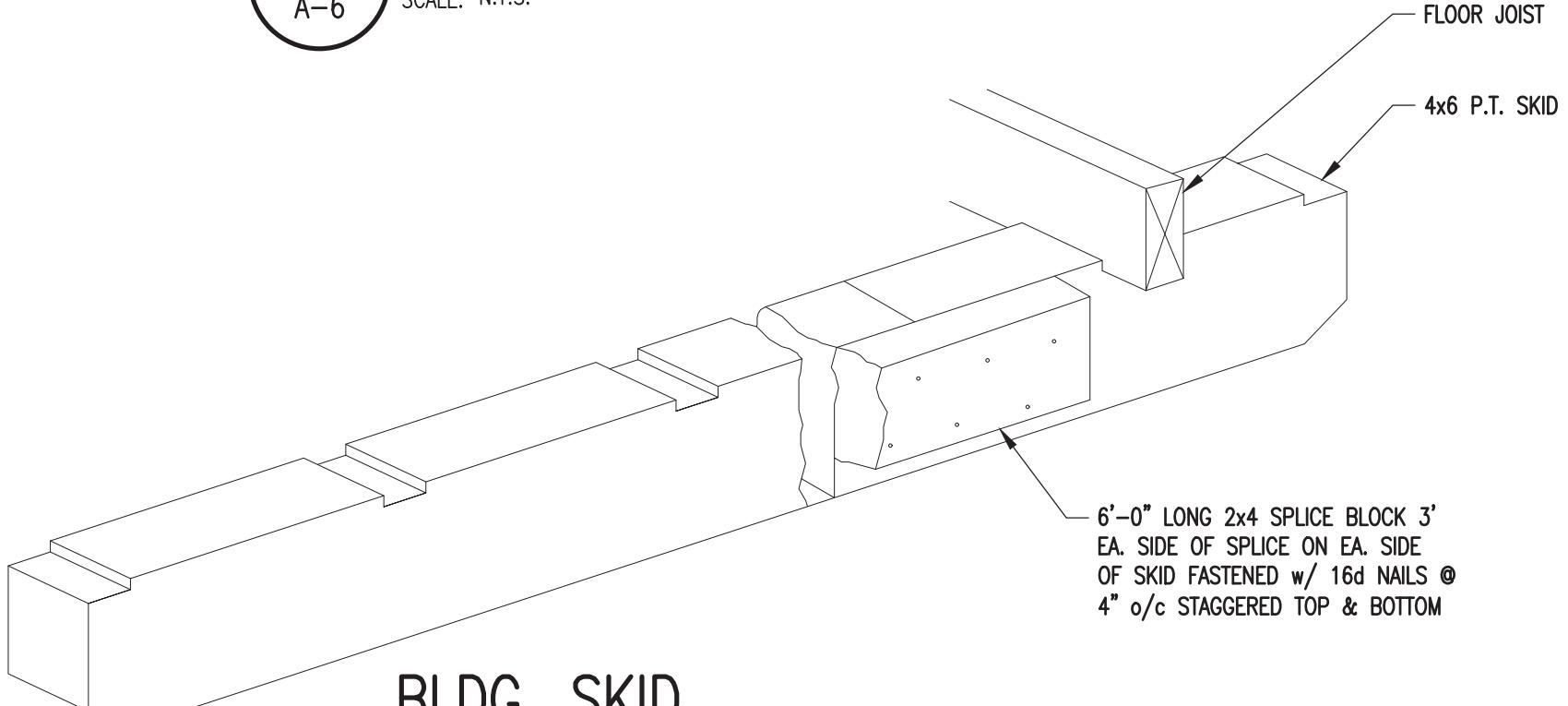
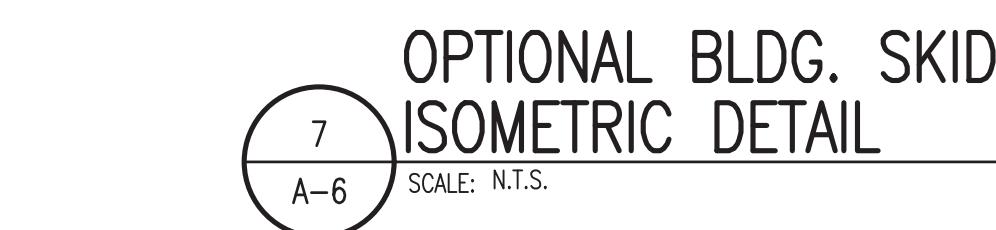
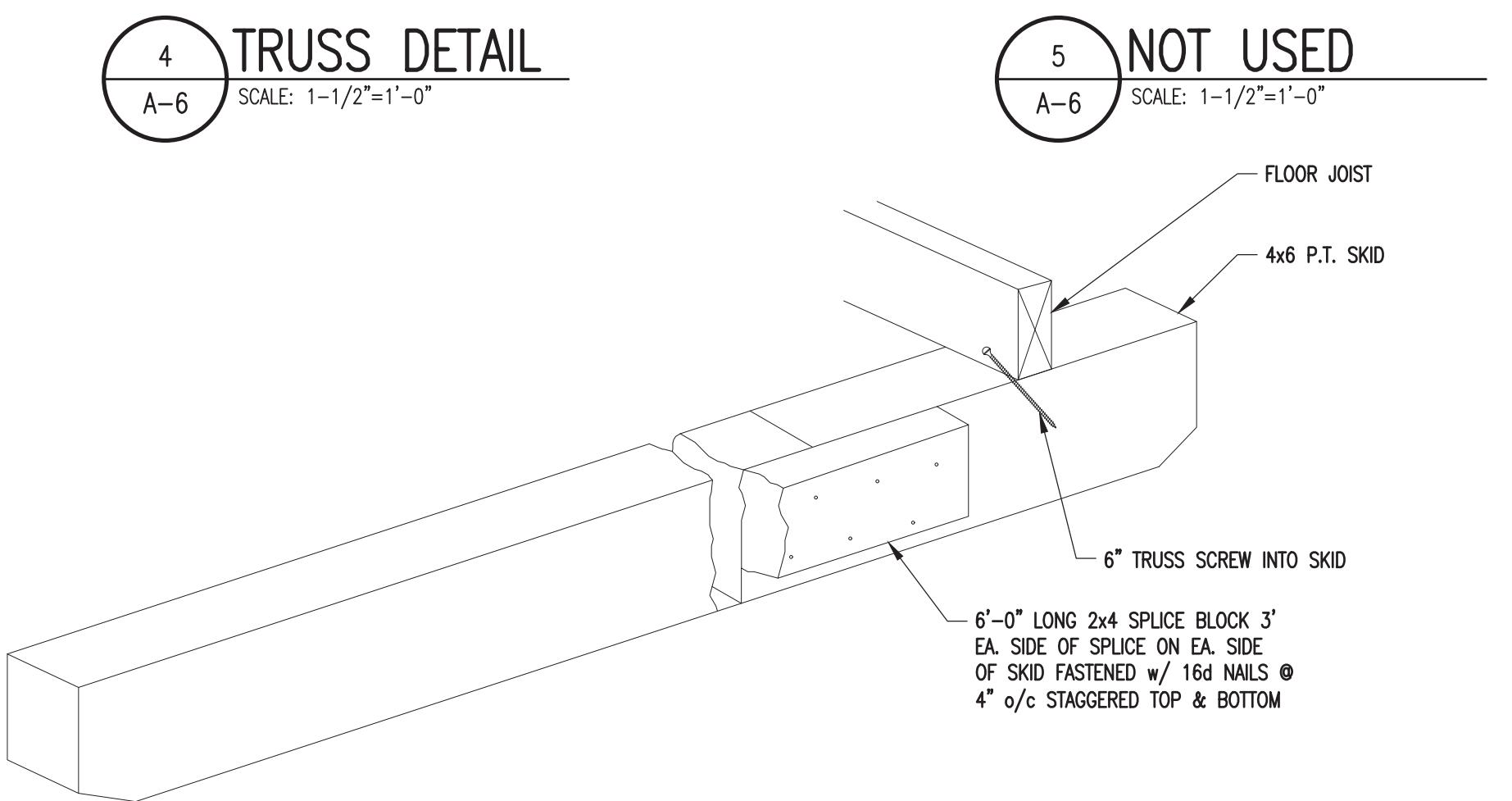
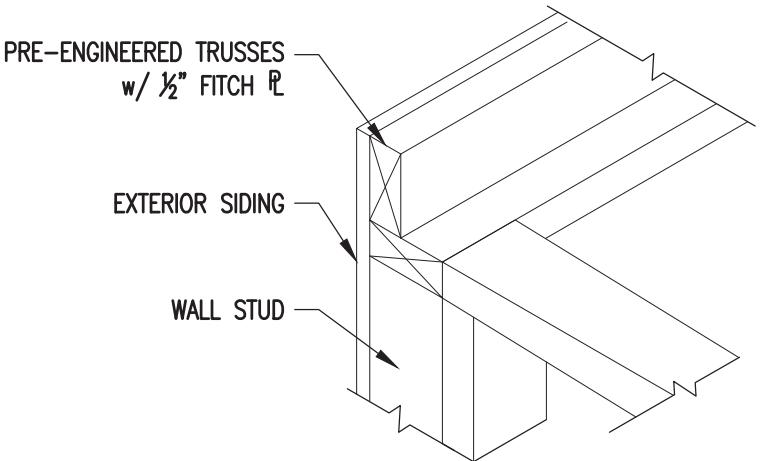
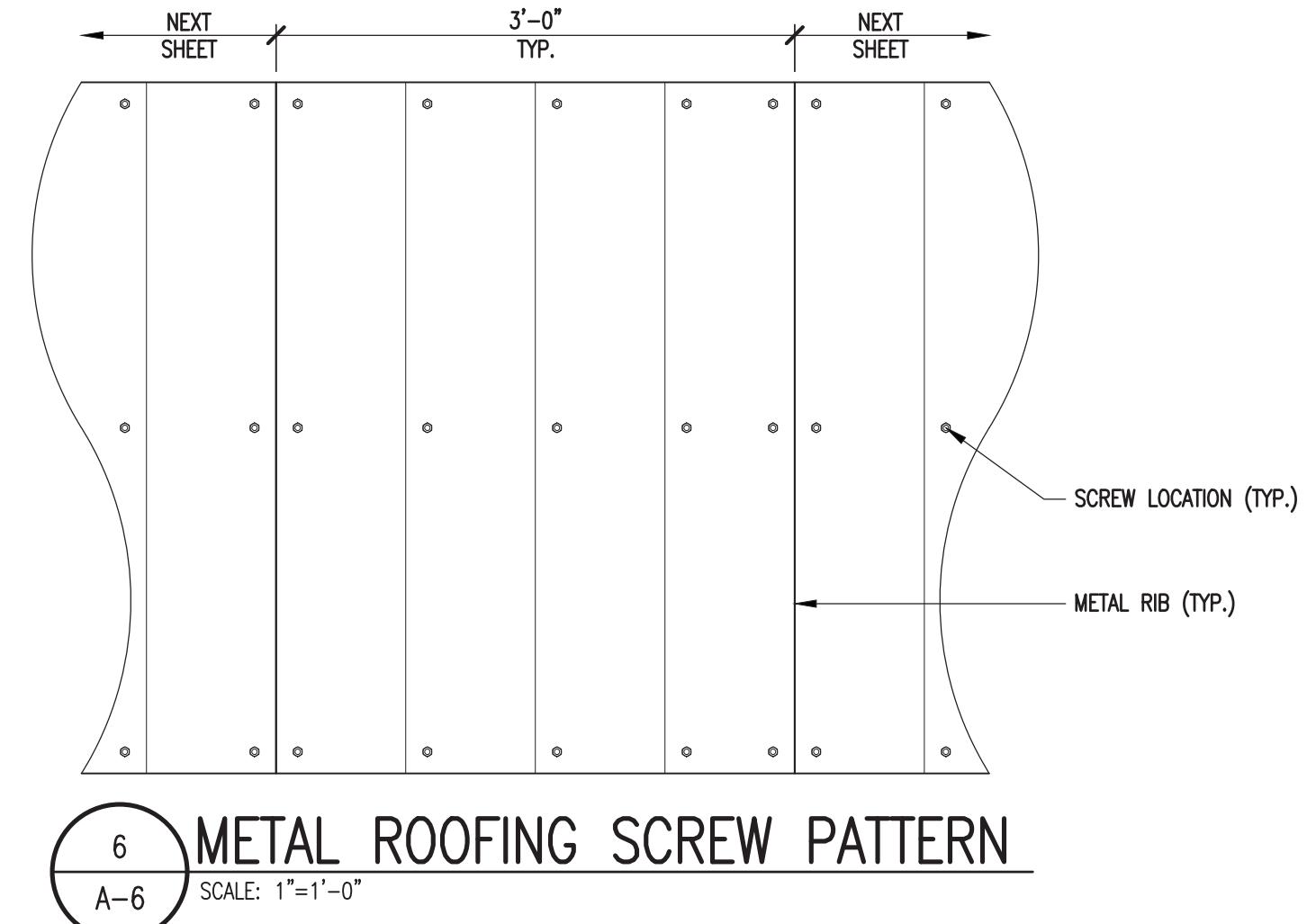
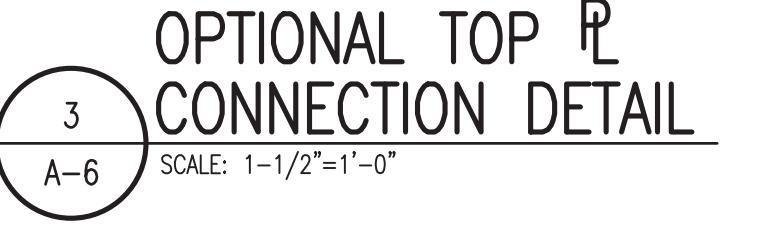
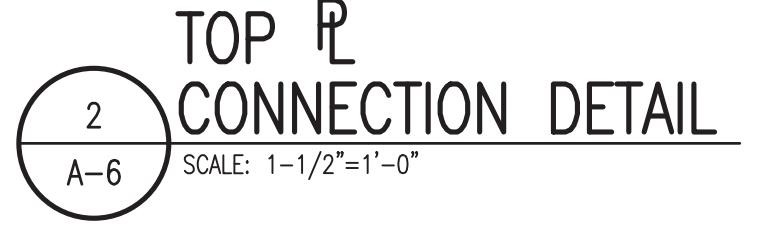
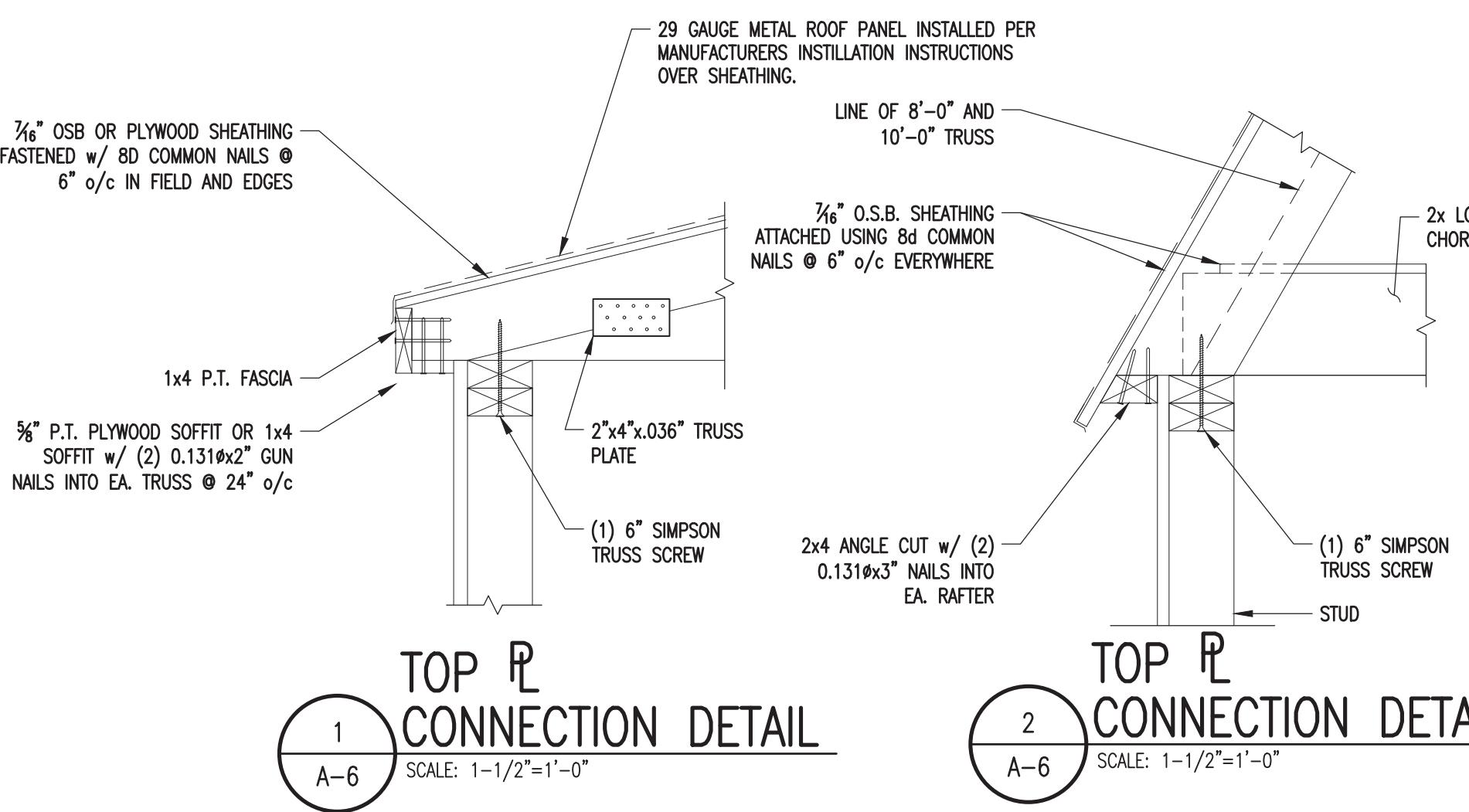
DRAWING BY: JH

CHK BY: DVG

WG NO.:

A-4





PROJECT:
UTILITY SHED

TYPICAL DETAILS

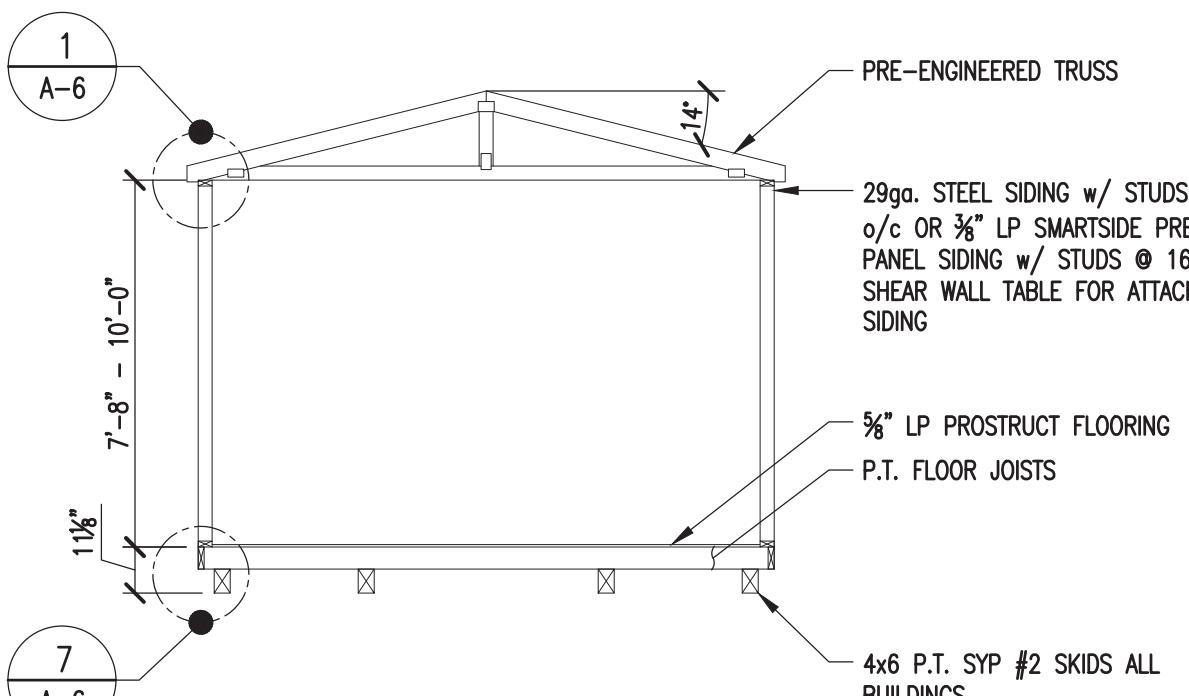
DON VAN GERVE, P.E.
SPECIALTY STRUCTURAL ENGINEER
860-500-9480



ENGINEERING SERVICES PROVIDED FOR:
PREMIER PORTABLE BUILDINGS
317 EAST STATE LINE ROAD
SOUTH FULTON, TN 38257
WWW.PREMIERBUILDINGS.US

REVISION	DESCRIPTION	DATE	BY
1			
2			
3			
4			
5			
DATE:	5.19.21		
PROJECT NO.:	21070		
DRAWING BY:	JH		
CHK BY:	DVG		
DWG NO.:	A-6		

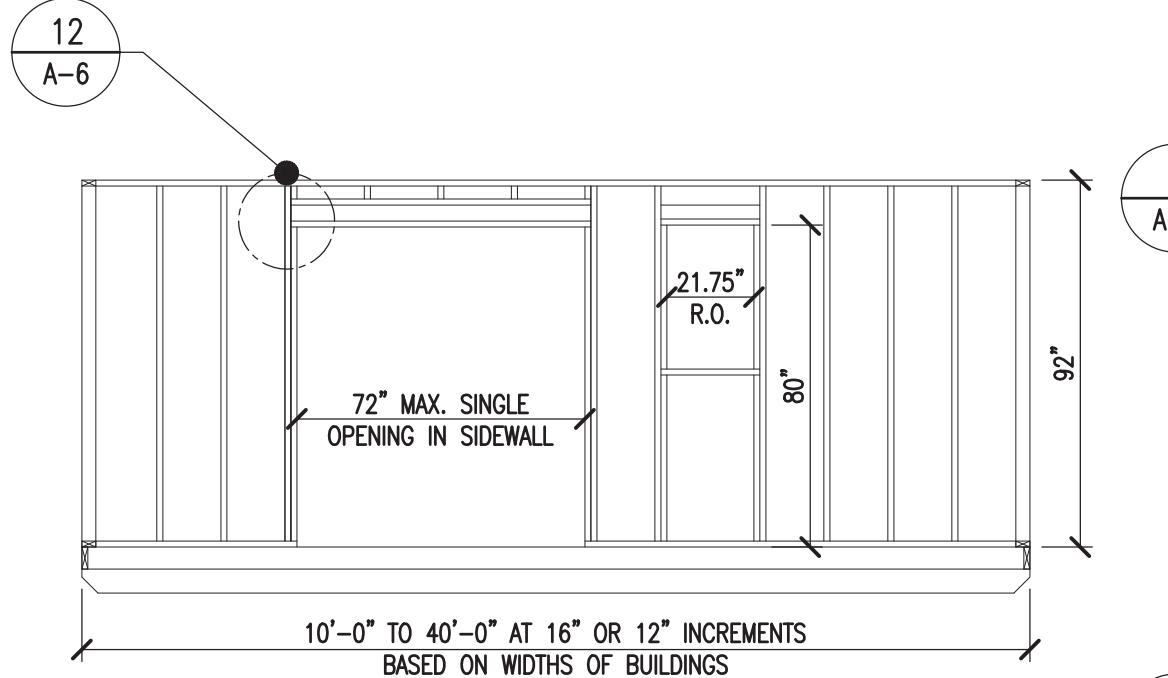
REGISTERED PROFESSIONAL
ENGINEER
91024PE
5/19/21
OREGON
DONALD VAN GERVE
MARCH 08, 2016



1 GABLE SECTION

SCALE: 1/4"=1'-0"

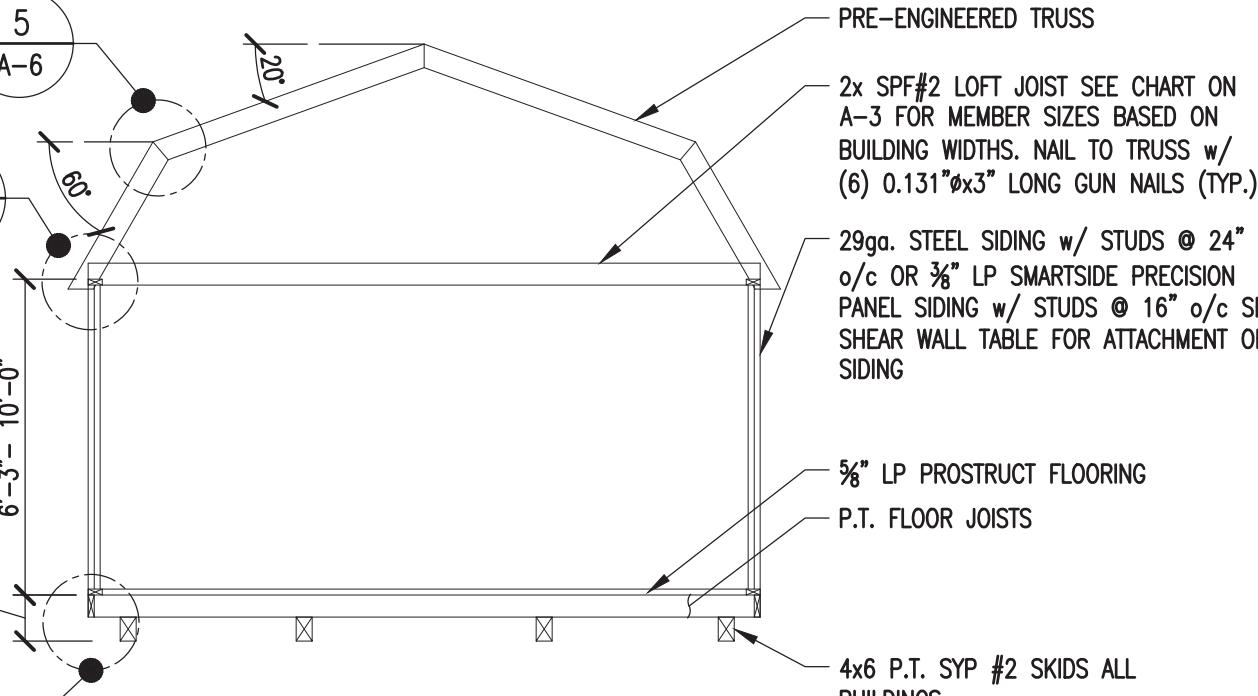
NOTES:
1. SEE NOTES ON SHEETS A-1 & C-2 FOR ANY INFORMATION NOT SHOWN.
2. SEE FASTENING SCHEDULE FOR ALL FASTENING NOT NOTED ON THIS SHEET.



2 SIDEWALL FRAMING

SCALE: 1/4"=1'-0"

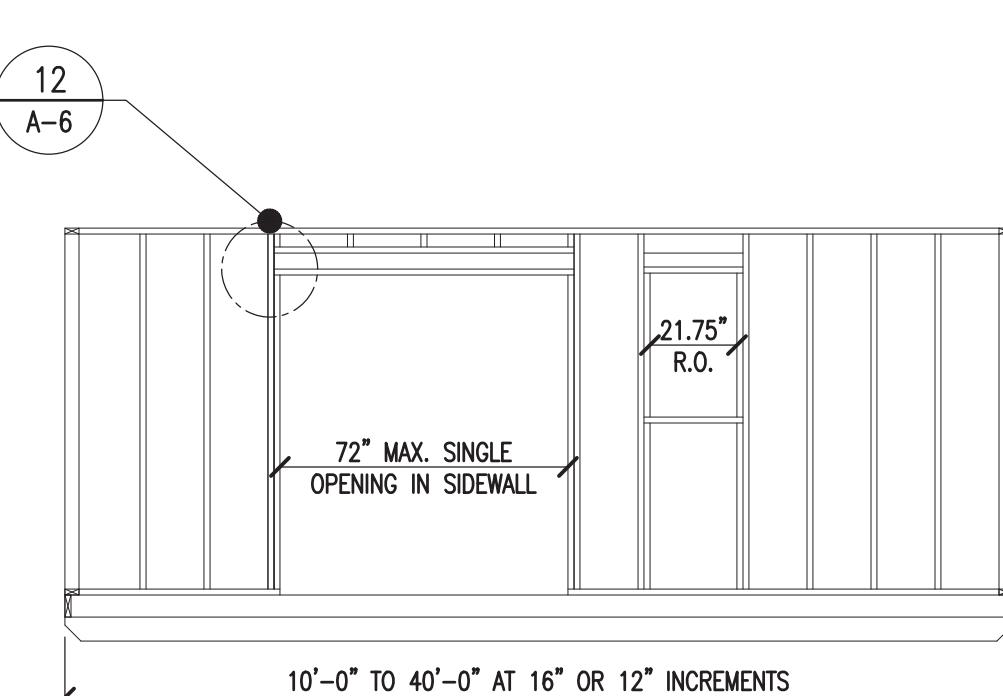
NOTES:
MAX. OPENING MAY BE INCREASED TO 9'-0" WITH HEADER PROVIDED THE BUILDING LENGTH IS OVER 16' IN LENGTH AND THE CRITERIA IN NOTE NUMBER 3 OF THE SHEARWALL CHART IS MET.



3 GAMBREL SECTION

SCALE: 1/4"=1'-0"

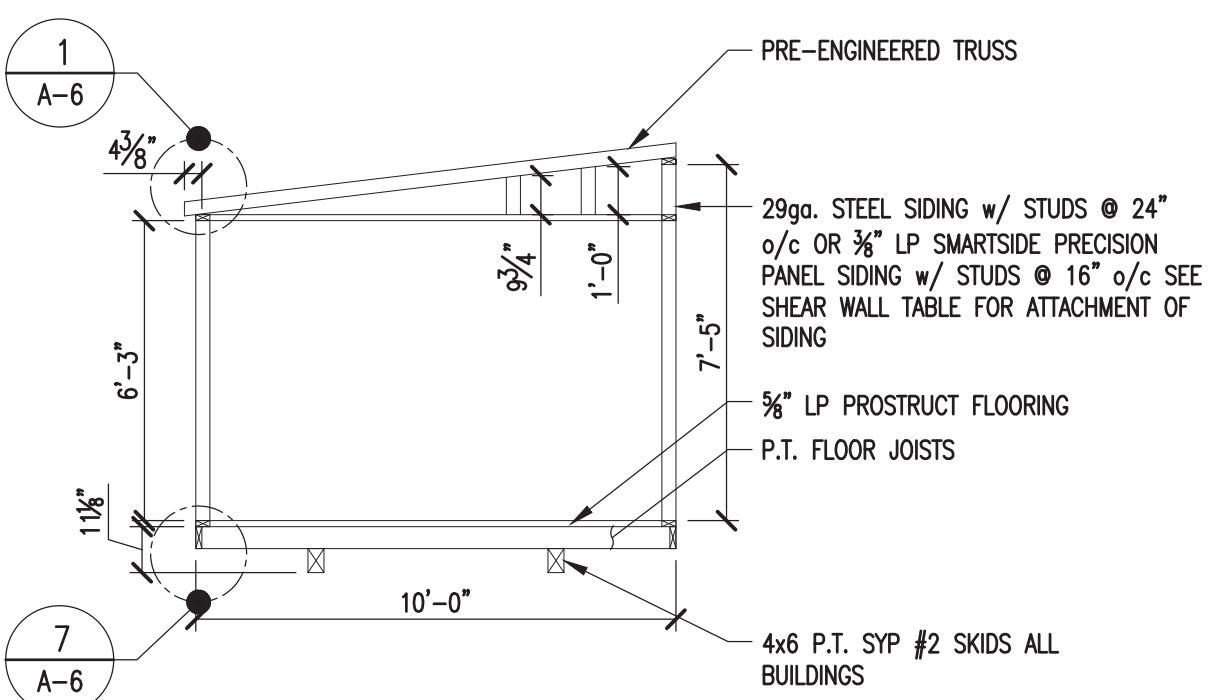
NOTES:
1. SEE NOTES ON SHEETS A-1 & C-2 FOR ANY INFORMATION NOT SHOWN.
2. SEE FASTENING SCHEDULE FOR ALL FASTENING NOT NOTED ON THIS SHEET.



4 SIDEWALL FRAMING

SCALE: 1/4"=1'-0"

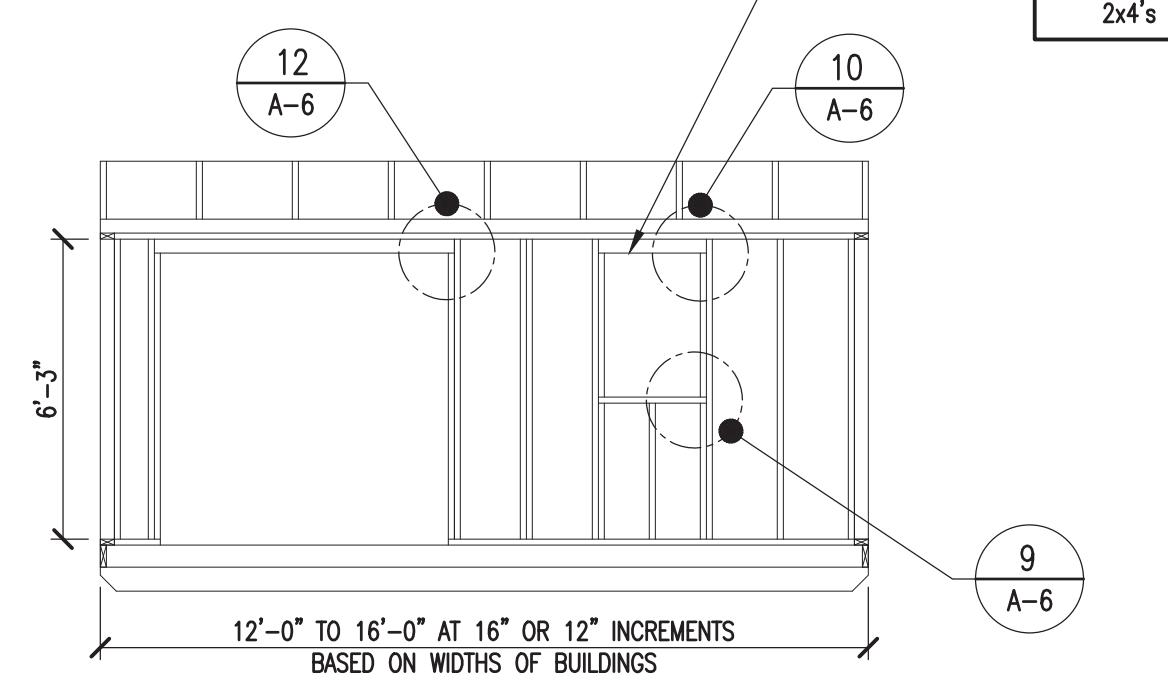
NOTES:
MAX. OPENING MAY BE INCREASED TO 9'-0" WITH HEADER PROVIDED THE BUILDING LENGTH IS OVER 16' IN LENGTH AND THE CRITERIA IN NOTE NUMBER 3 OF THE SHEARWALL CHART IS MET.



5 GARDEN SHED SECTION

SCALE: 1/4"=1'-0"

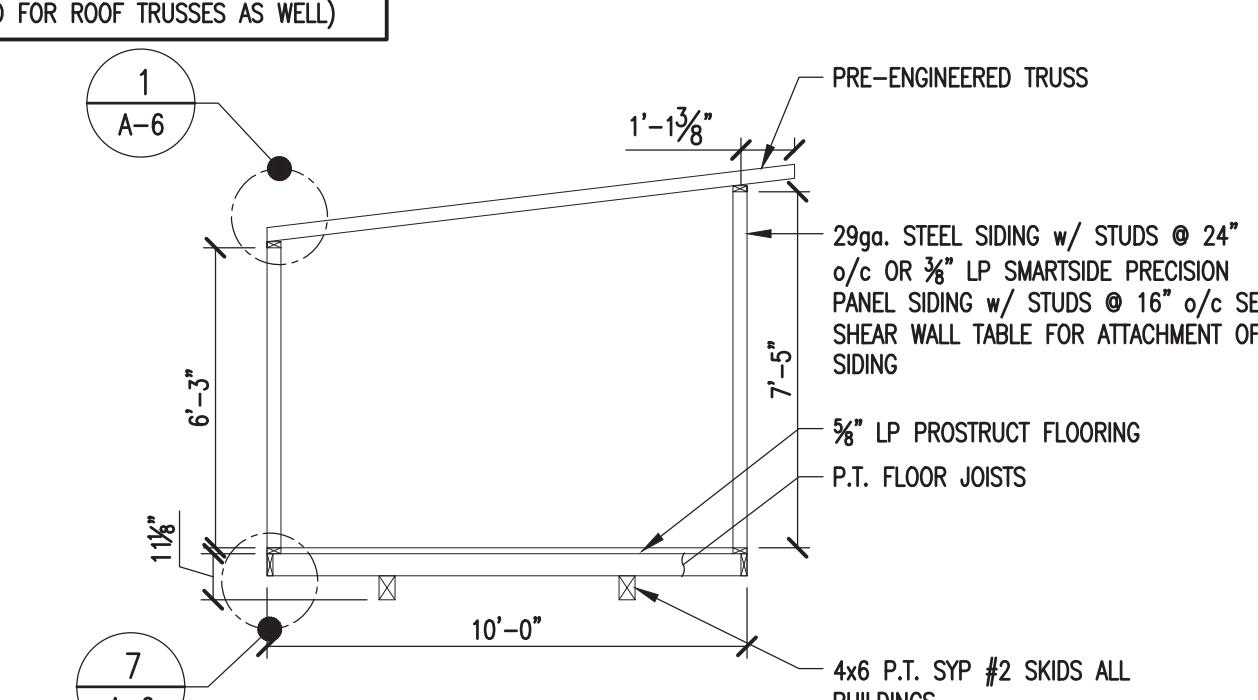
NOTES:
1. SEE NOTES ON SHEETS A-1 & A-2 FOR ANY INFORMATION NOT SHOWN.
2. SEE FASTENING SCHEDULE FOR ALL FASTENING NOT NOTED ON THIS SHEET.



6 SIDEWALL FRAMING

SCALE: 1/4"=1'-0"

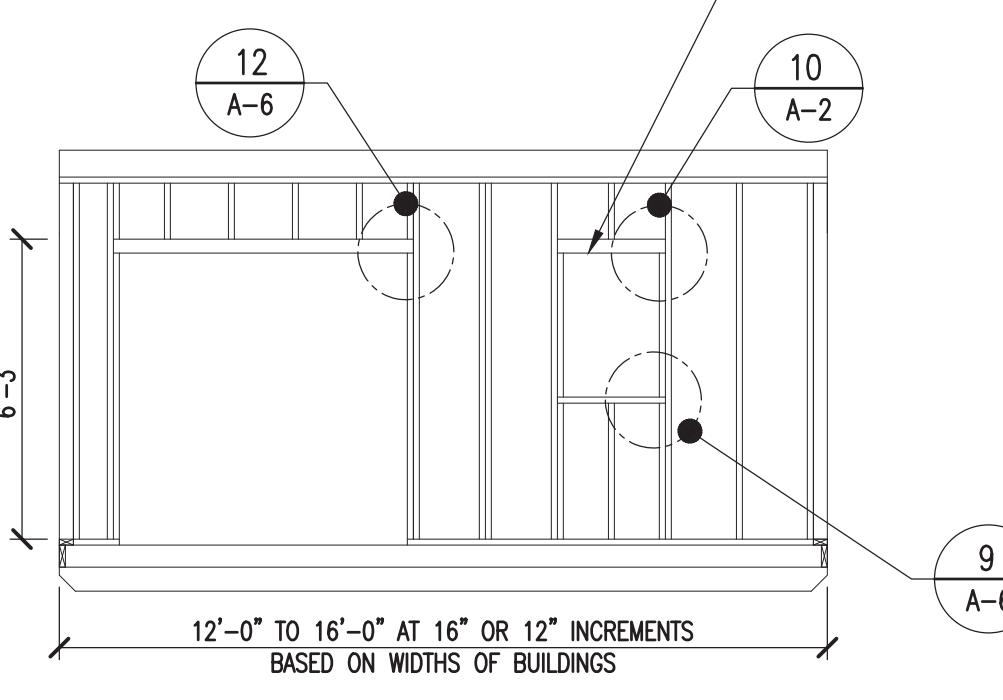
NOTES:
MAX. OPENING MAY BE INCREASED TO 9'-0" WITH HEADER 8/A-11 PROVIDED THE BUILDING LENGTH IS OVER 16' IN LENGTH AND THE CRITERIA IN NOTE NUMBER 3 OF THE SHEARWALL CHART IS MET.



7 COTTAGE SHED SECTION

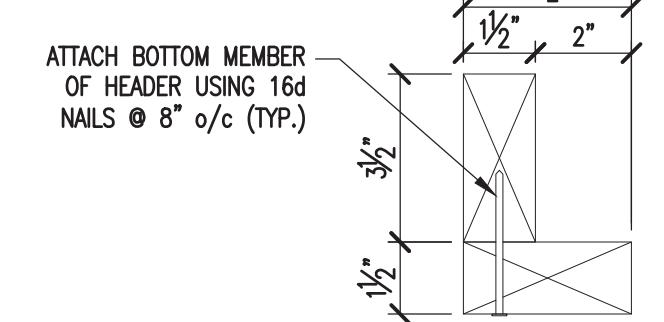
SCALE: 1/4"=1'-0"

NOTES:
1. SEE NOTES ON SHEETS A-1 & A-2 FOR ANY INFORMATION NOT SHOWN.
2. SEE FASTENING SCHEDULE FOR ALL FASTENING NOT NOTED ON THIS SHEET.



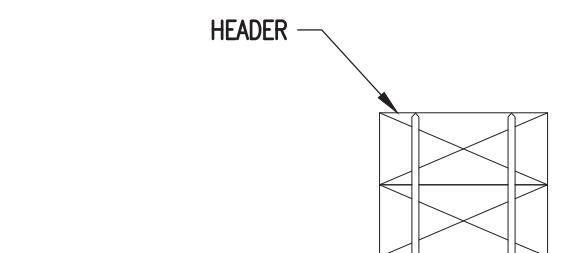
8 SIDEWALL FRAMING

SCALE: 1/4"=1'-0"



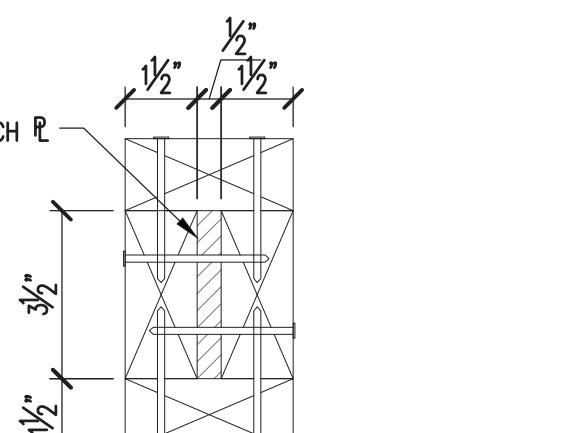
9 WINDOW HEADER DETAIL

SCALE: 3'-1"-0"



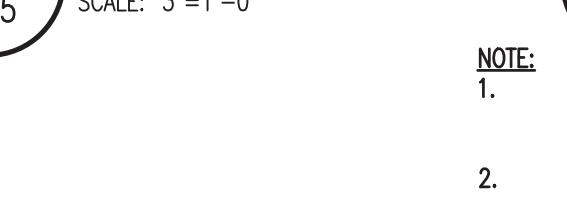
10 DOOR HEADER DETAIL

SCALE: 3'-1"-0"



11 DOOR HEADER DETAIL

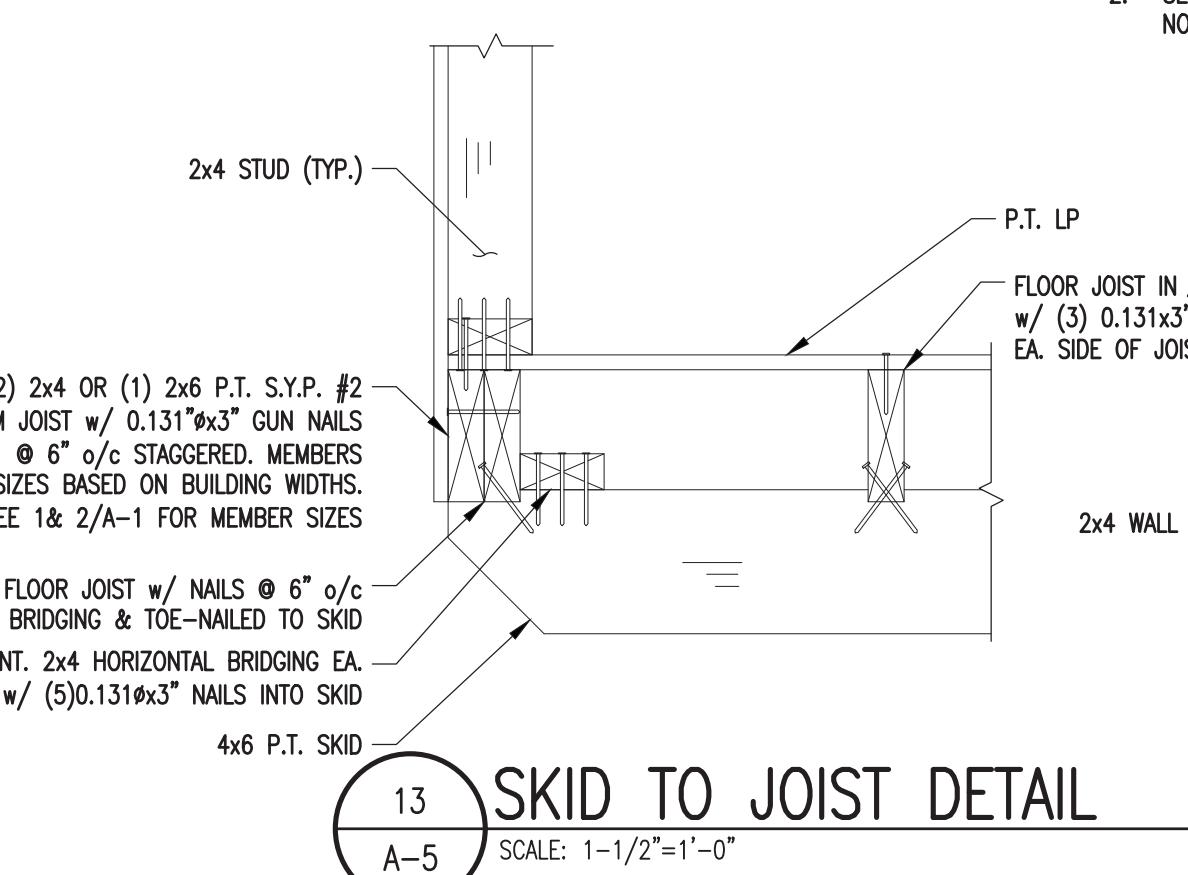
SCALE: 3'-1"-0"



12 DOOR HEADER DETAIL

SCALE: 3'-1"-0"

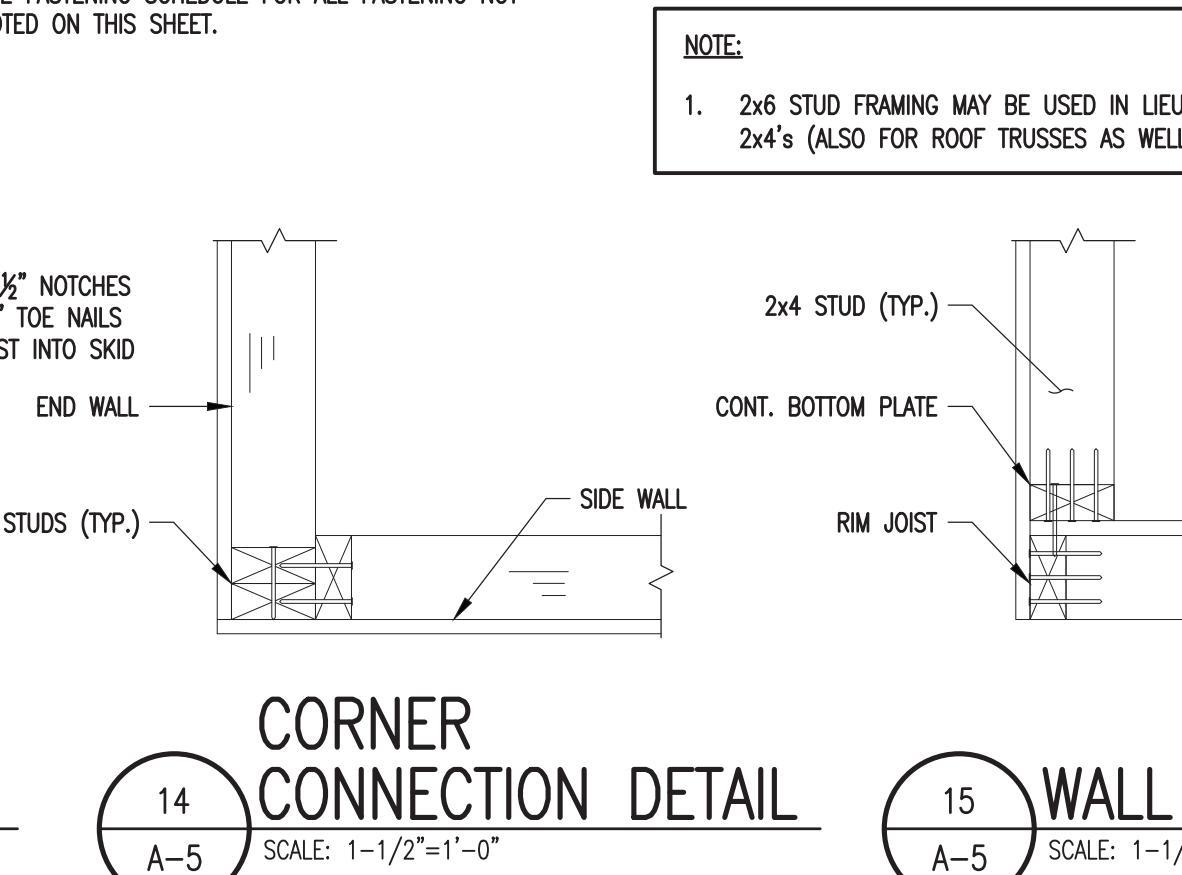
NOTES:
1. SEE NOTES ON SHEETS A-1 & A-2 FOR ANY INFORMATION NOT SHOWN.
2. SEE FASTENING SCHEDULE FOR ALL FASTENING NOT NOTED ON THIS SHEET.



13 SKID TO JOIST DETAIL

SCALE: 1-1/2"-1'-0"

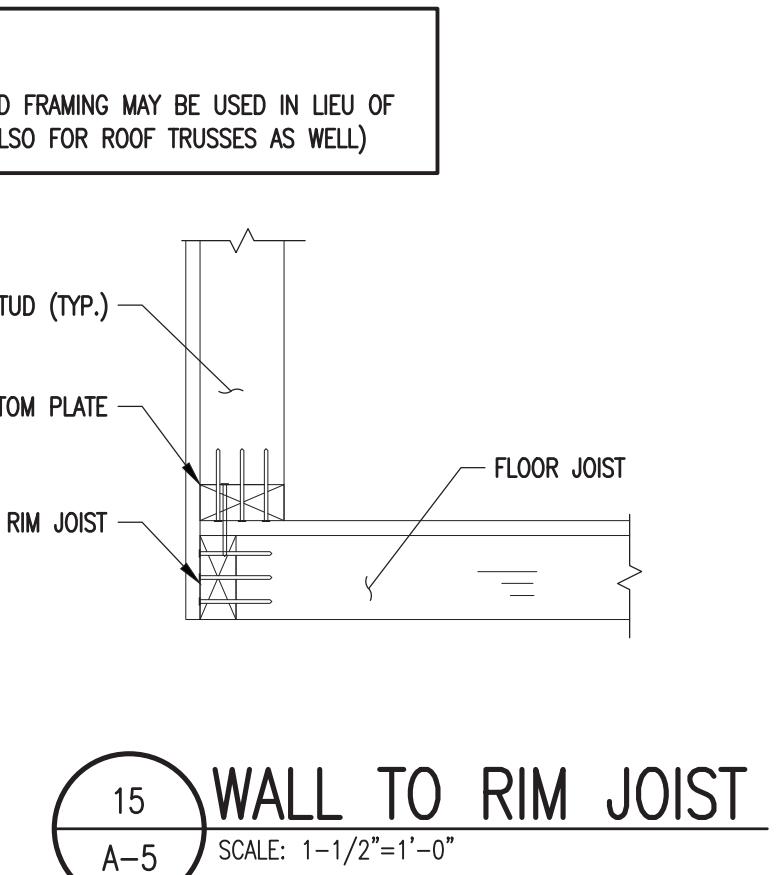
NOTES:
1. SEE NOTES ON SHEETS A-1 & C-2 FOR ANY INFORMATION NOT SHOWN HERE.
2. SEE FASTENING SCHEDULE FOR ALL FASTENING NOT NOTED ON THIS SHEET.



14 CORNER CONNECTION DETAIL

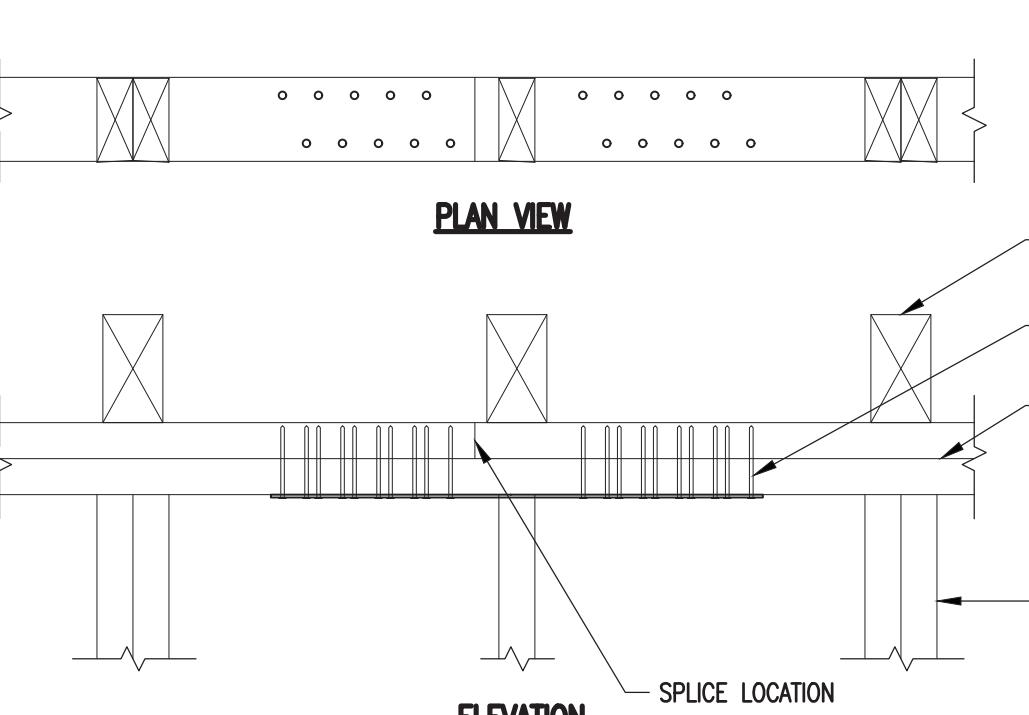
SCALE: 1-1/2"-1'-0"

NOTES:
1. 2x6 STUD FRAMING MAY BE USED IN LIEU OF 2x4's (ALSO FOR ROOF TRUSSES AS WELL)



15 WALL TO RIM JOIST

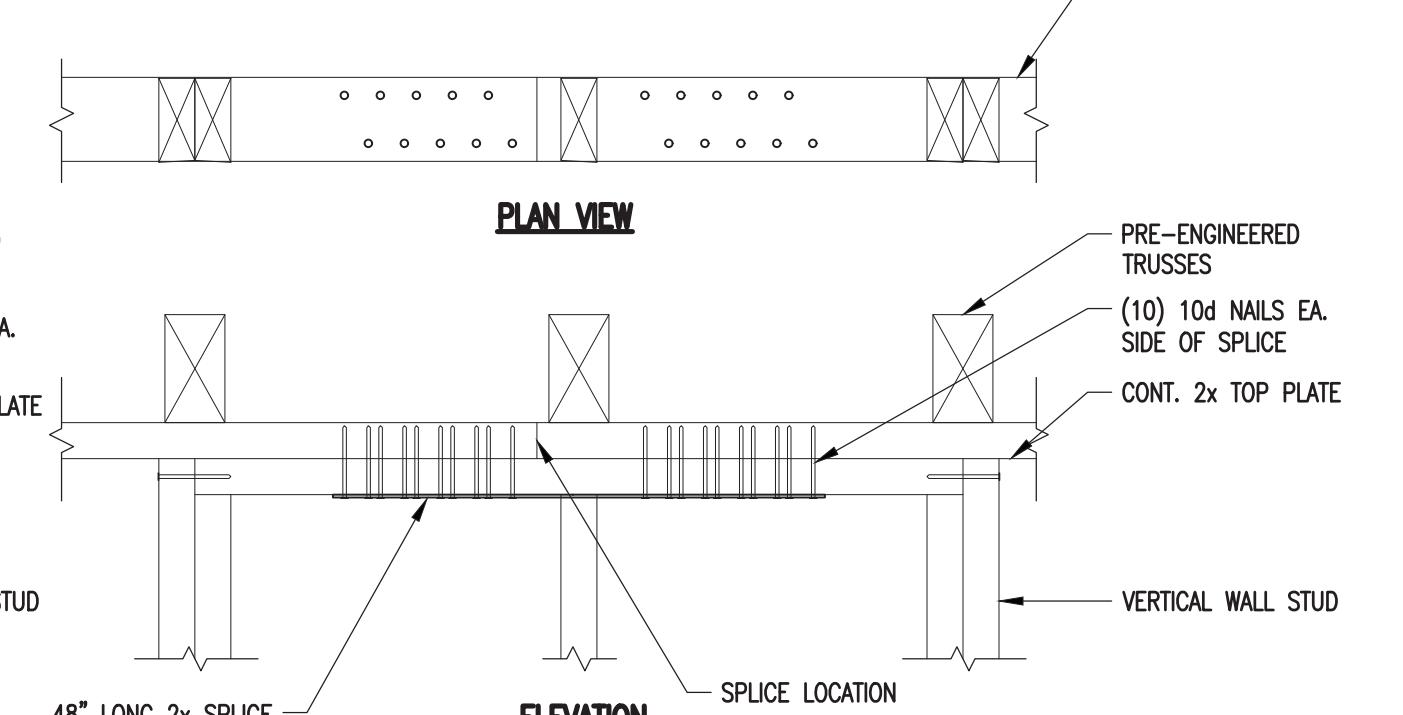
SCALE: 1-1/2"-1'-0"



16 TOP PLATE SPICE DETAIL

SCALE: 1-1/2"-1'-0"

NOTES:
1. SEE NOTES ON SHEETS A-1 & A-2 FOR ANY INFORMATION NOT SHOWN HERE.
2. SEE FASTENING SCHEDULE FOR ALL FASTENING NOT NOTED ON THIS SHEET.



17 SPLICE CONNECTION DETAIL

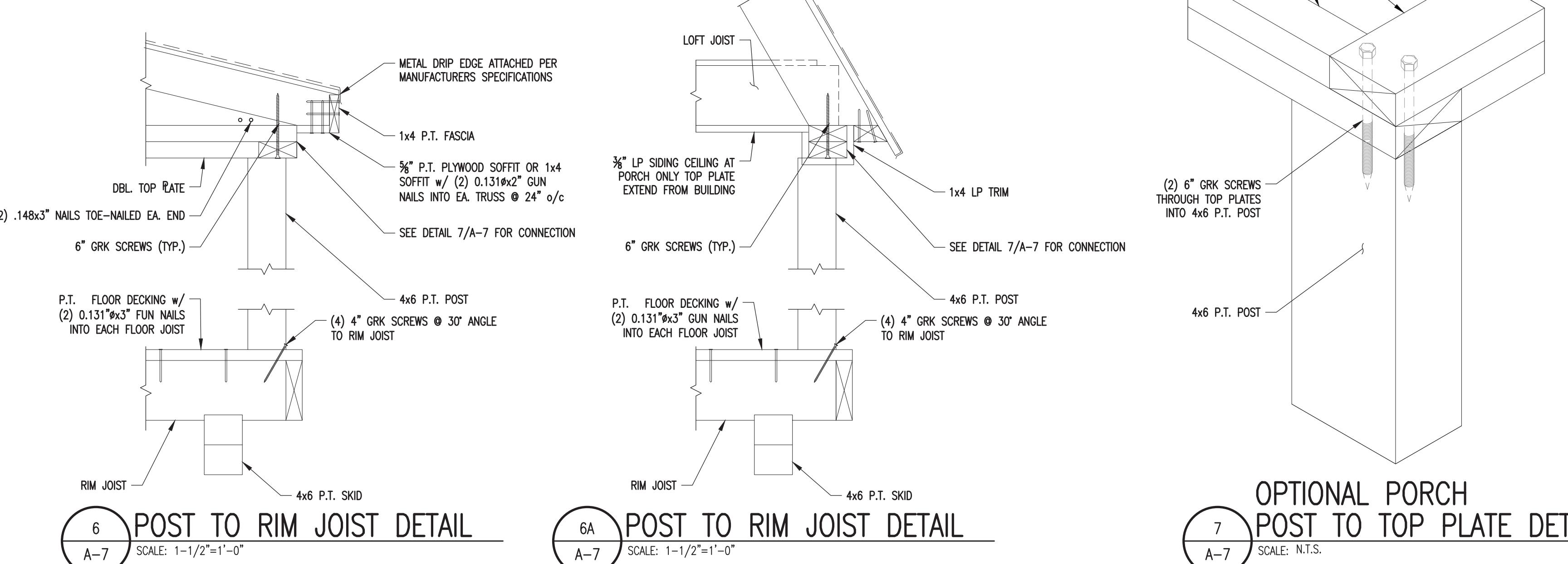
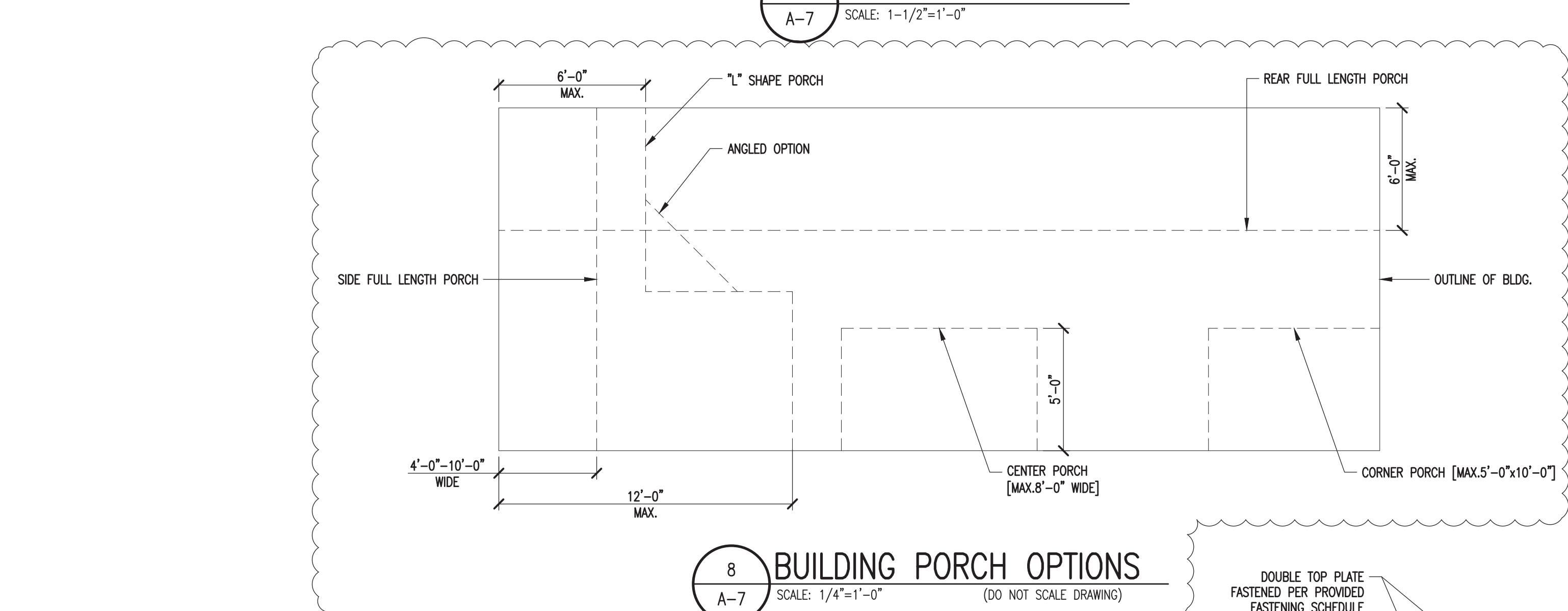
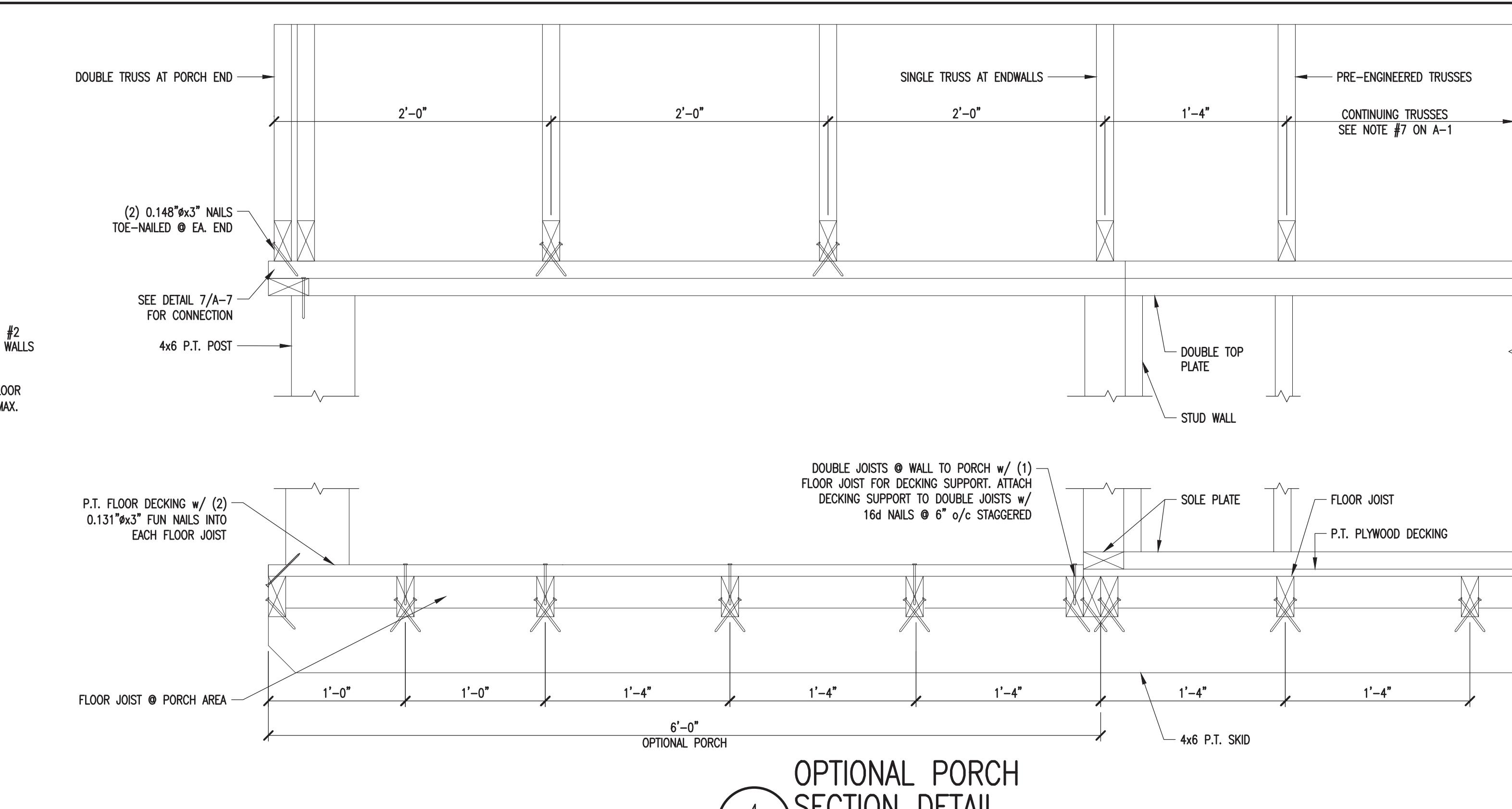
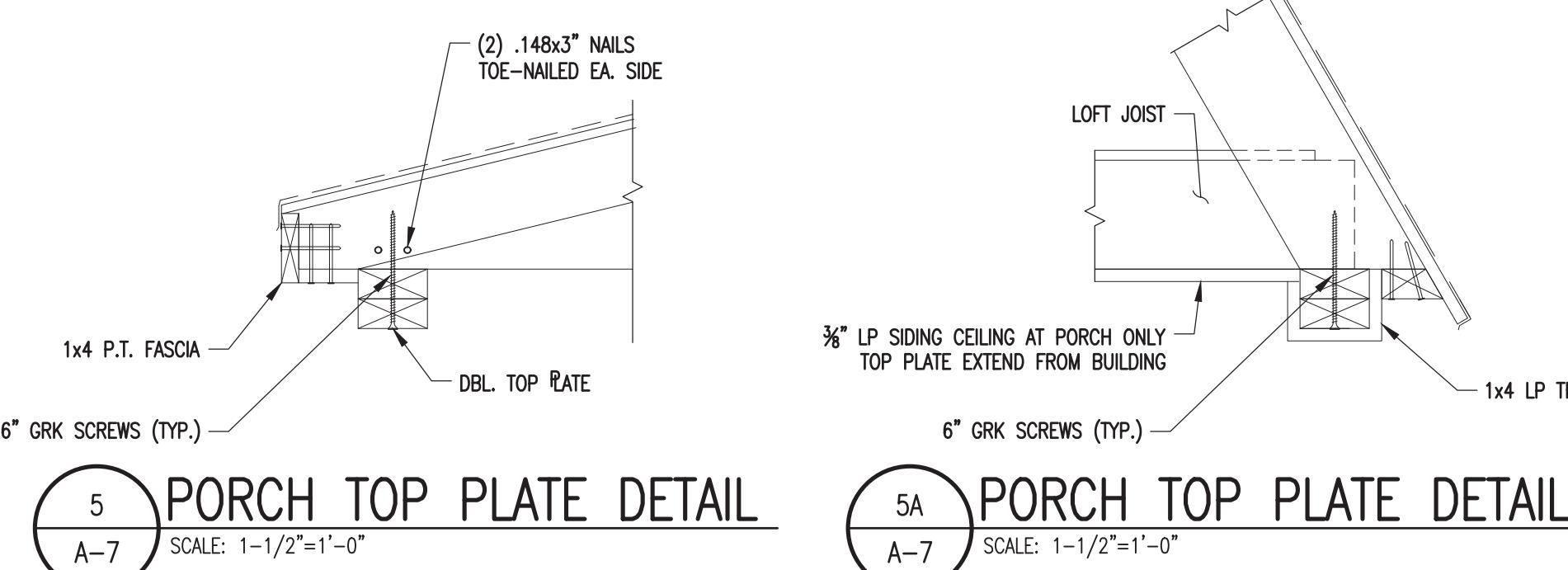
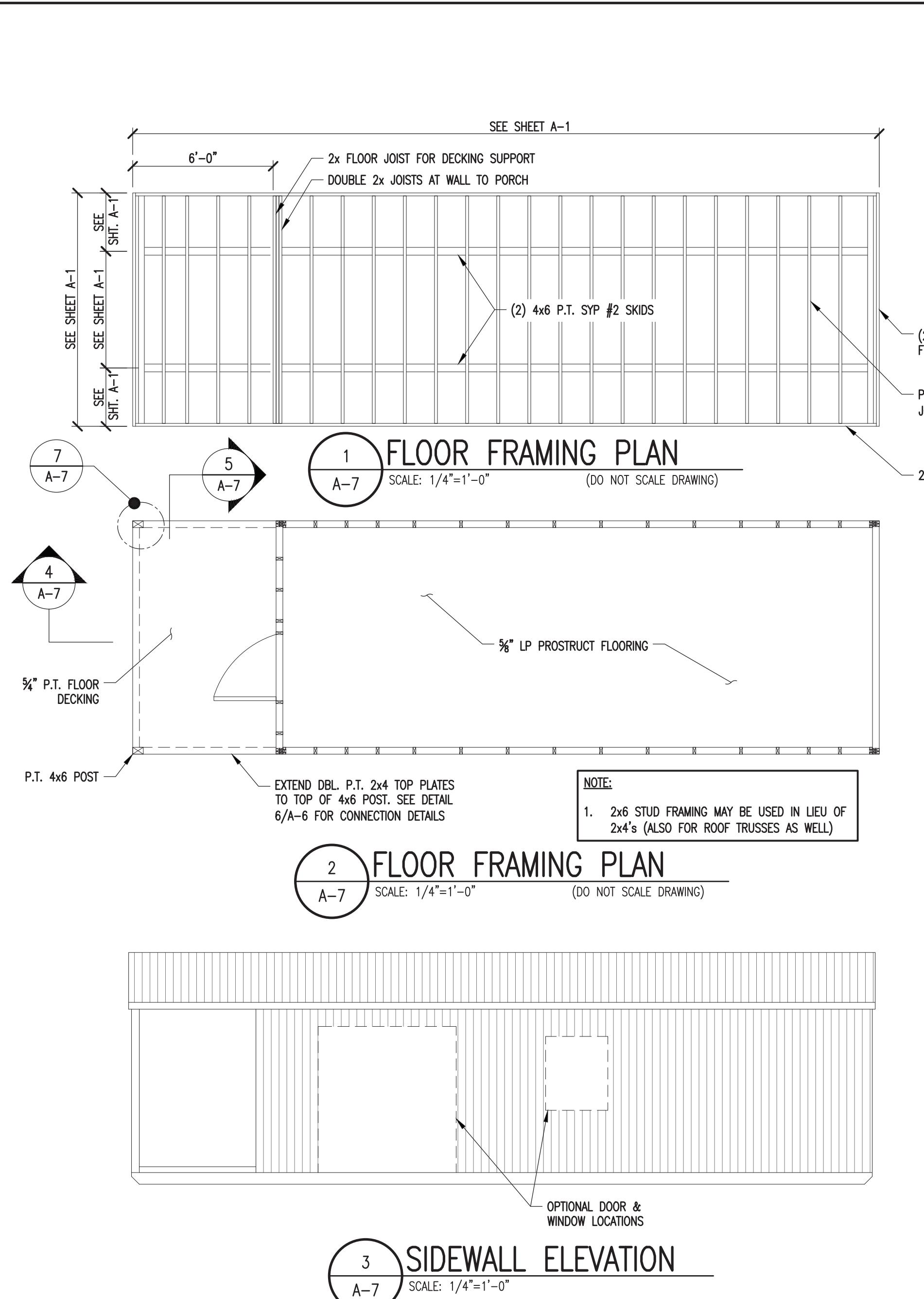
SCALE: 1-1/2"-1'-0"

PROJECT:
UTILITY SHED

TYPICAL DETAILS

DON VAN GERVE, P.E.
SPECIALTY STRUCTURAL ENGINEER
860-500-9480ENGINEERING SERVICES PROVIDED FOR:
PREMIER PORTABLE BUILDINGS
317 EAST STATE LINE ROAD
SOUTH FULTON, TN 38257
WWW.PREMIERBUILDINGS.US

REVISION	DESCRIPTION	DATE	BY
1			
2			
3			
4			
5			
DATE:	5.19.21		
PROJECT NO.:	28086		
DRAWING BY:	JH		
CHK BY:	DVG		
DWG NO.:			
A-5			
<p>REGISTERED PROFESSIONAL ENGINEER 91024PE 5/19/21 DONALD VAN GERVE MARCH 08, 2015</p>			



PROJECT: **UTILITY SHED**

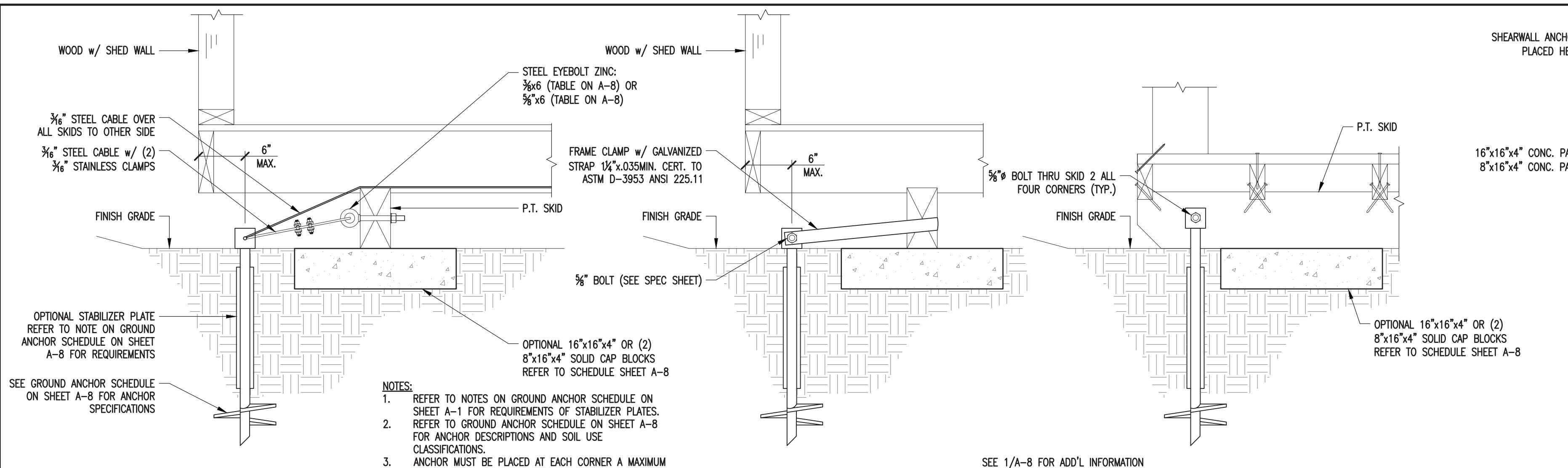
OPTIONAL PORCH PLANS, SECTIONS & DETAILS

DON VAN GERVE, P.E.
SPECIALTY STRUCTURAL ENGINEER
860-500-9480



ENGINEERING SERVICES PROVIDED FOR:
PREMIER PORTABLE BUILDINGS
317 EAST STATE LINE ROAD
SOUTH FULTON, TN 38257
WWW.PREMIERBUILDINGS.US

REVISION	DESCRIPTION	DATE	BY
1			
2			
3			
4			
5			
DATE:	5.19.21		
PROJECT NO.:	21070		
DRAWING BY:	JH		
CHK BY:	DVG		
DWG NO.:	A-7		
		 <p>The seal is circular with the following text: REGISTERED PROFESSIONAL ENGINEER 91024PE 5/19/21 OREGON MARCH 08, 2016 DONALD VAN GERVE</p>	



1 HELIX ANCHOR DETAIL
A-8 SCALE: 1-1/2"=1'-0"

2 OPTIONAL ANCHOR DETAIL
A-8 SCALE: 1-1/2"=1'-0"

3 ANCHOR DETAIL
A-8 SCALE: 1-1/2"=1'-0"

OPTIONAL PAD SCHEDULE FOR ALL WIND SPEEDS AND EXPOSURES

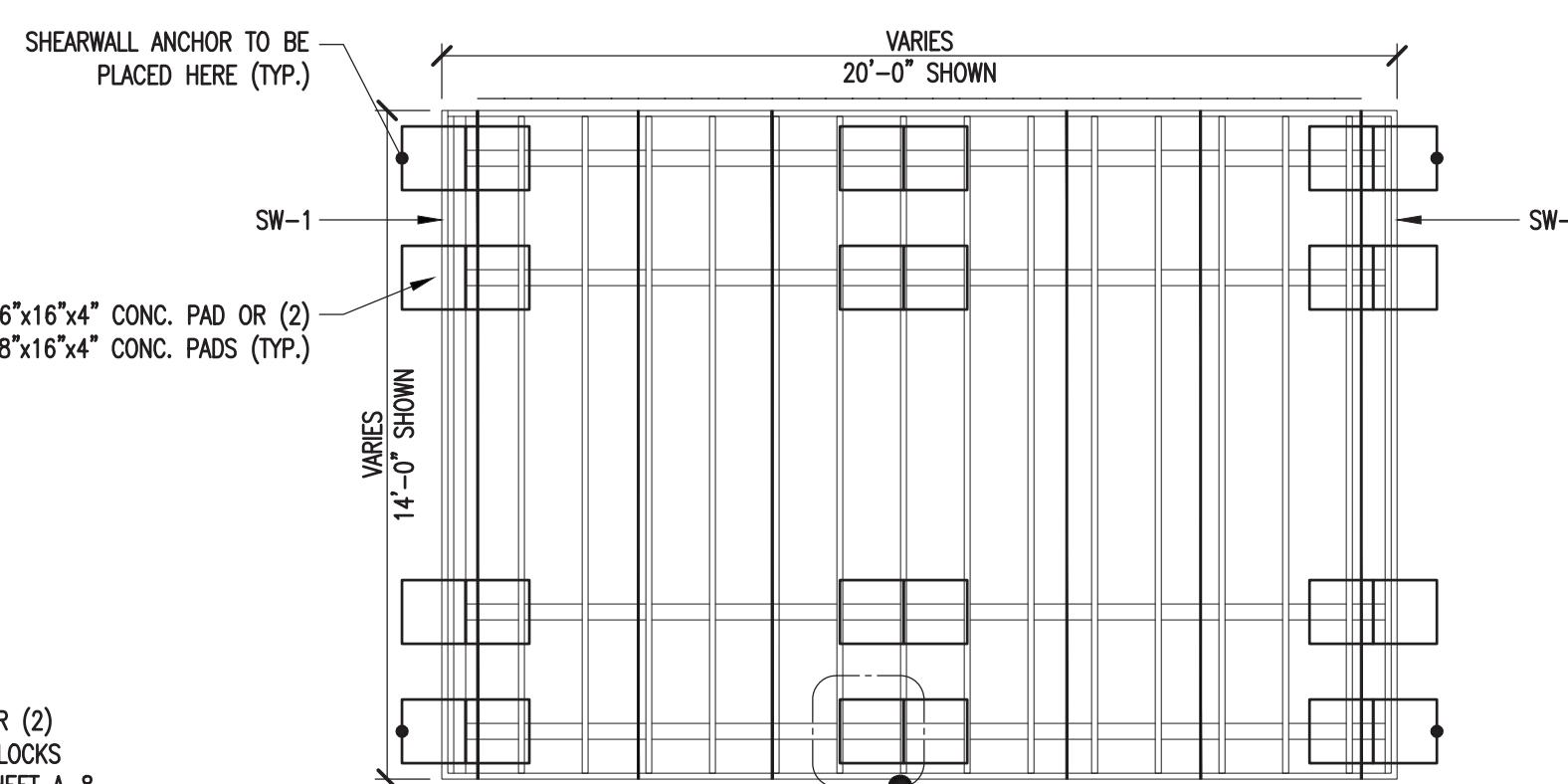
BUILDING WIDTH	NUMBER OF PADS BY LENGTH UNDER EACH SKID														
	10'-0"	12'-0"	14'-0"	16'-0"	18'-0"	20'-0"	22'-0"	24'-0"	26'-0"	28'-0"	30'-0"	32'-0"	34'-0"	36'-0"	38'-0"
8'-0"	3	3	3	3	3	4	4	4	N/A						
10'-0"	3	3	3	4	4	4	5	5	5	N/A	N/A	N/A	N/A	N/A	N/A
11'-2"	2	2	3	3	3	3	3	3	4	4	4	N/A	N/A	N/A	N/A
12'-0"	2	2	3	3	3	3	3	4	4	4	4	4	N/A	N/A	N/A
14'-0"	2	3	3	3	3	3	3	4	4	4	4	5	5	5	5
16'-0"	2	3	3	3	3	3	3	4	4	4	4	5	5	5	5

ANCHORING FOR 160 M.P.H. WIND SPEED, EXPOSURE "C" - 3/8" ANCHOR BOLT

BUILDING WIDTH	NUMBER OF ANCHORS EACH SIDE WALL																
	MAX. SPACING OVERTURN	10'-0"	12'-0"	14'-0"	16'-0"	18'-0"	20'-0"	22'-0"	24'-0"	26'-0"	28'-0"	30'-0"	32'-0"	34'-0"	36'-0"	38'-0"	40'-0"
8'-0"	3.15	5	5	6	7	7	8	8	9	10	10	11	12	12	13	14	14
10'-0"	3	5	6	6	7	8	8	9	10	10	11	12	12	13	14	15	
11'-2"	3.98	4	5	5	6	6	7	7	8	8	9	9	10	10	11	12	
12'-0"	4.01	4	4	5	5	6	6	7	7	8	8	9	9	10	10	11	
14'-0"	4.10	4	4	5	5	6	6	7	7	8	8	9	9	10	10	11	
16'-0"	4.18	4	4	5	5	6	6	7	7	8	8	9	9	10	10	11	

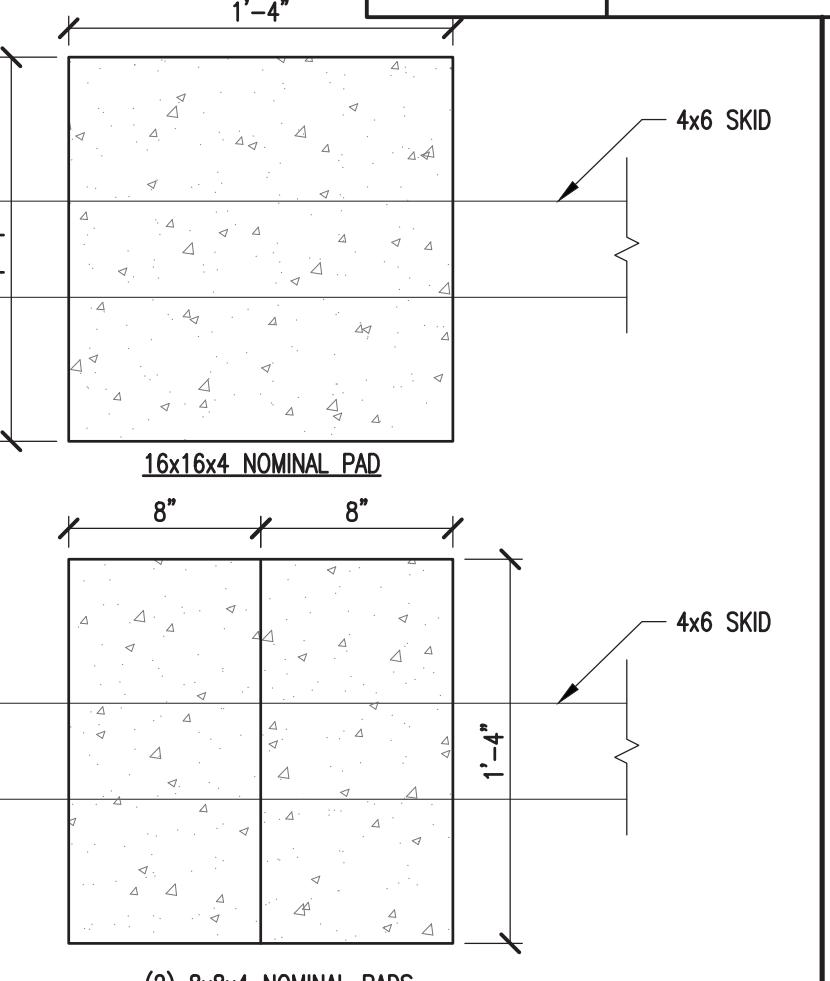
ANCHORING FOR 160 M.P.H. WIND SPEED, EXPOSURE "C" - 5/8" ANCHOR BOLT

BUILDING WIDTH	NUMBER OF ANCHORS EACH SIDE WALL																
	MAX. SPACING OVERTURN	10'-0"	12'-0"	14'-0"	16'-0"	18'-0"	20'-0"	22'-0"	24'-0"	26'-0"	28'-0"	30'-0"	32'-0"	34'-0"	36'-0"	38'-0"	40'-0"
8'-0"	4.61	4	4	5	5	5	6	6	7	7	8	8	8	9	9	10	10
10'-0"	4.30	4	4	5	5	6	6	7	7	8	8	8	9	9	10	10	11
11'-2"	5.84	3	4	4	4	5	5	5	6	6	6	7	7	7	8	8	8
12'-0"	5.88	3	4	4	4	5	5	5	6	6	6	7	7	7	8	8	8
14'-0"	6.01	3	3	4	4	4	5	5	5	6	6	6	7	7	7	8	8
16'-0"	6.13	3	3	4	4	4	5	5	5	6	6	6	7	7	7	8	8



4 FLOOR FRAMING PLAN
A-8 SCALE: 1/4"=1'-0" (DO NOT SCALE DRAWING)

GROUND ANCHOR SCHEDULE			
MODEL #	PART #	DESCRIPTION	SOIL CLASS
M12H5/8	59080 / 59081	48" x 5/8" ROD w/ (1) 6" HELIX	4A
M12H3/4	59085 / 59094	48" x 3/4" ROD w/ (1) 6" HELIX	4A
M1423/4	59128	42" x 3/4" ROD w/ (2) 4" HELIX	4A
M1483/4	59086	48" x 3/4" ROD w/ (2) 4" HELIX	4A
M12H64	59250	36" x 3/4" ROD w/ (1) 4" HELIX & (1) 6" HELIX	4A
N/A	59065	EYE ANCHOR - 48" x 5/8" w/ (1) 6" HELIX	4A
N/A	59045	EYE ANCHOR - 48" x 3/4" w/ (1) 6" HELIX	4A
M607	59099	60" x 3/4" w/ (1) 7" HELIX	4B
N/A	59040	EYE ANCHOR 60" x 3/4" w/ (1) 8" HELIX	4B



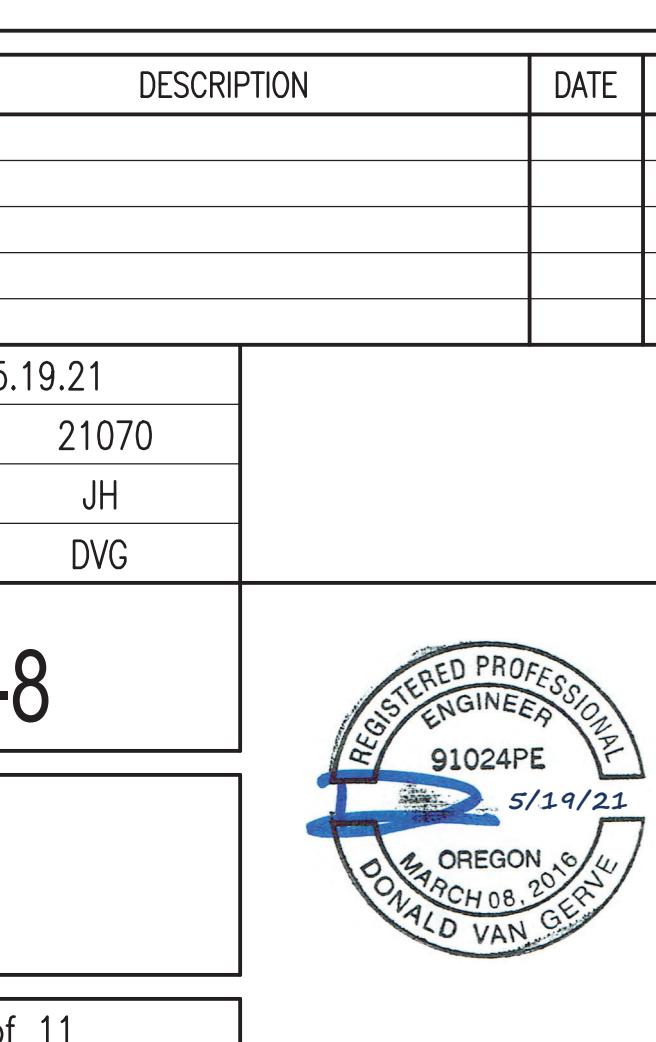
5 PAD DETAILS
A-8 SCALE: 1-1/2"=1'-0"

GENERAL NOTES:

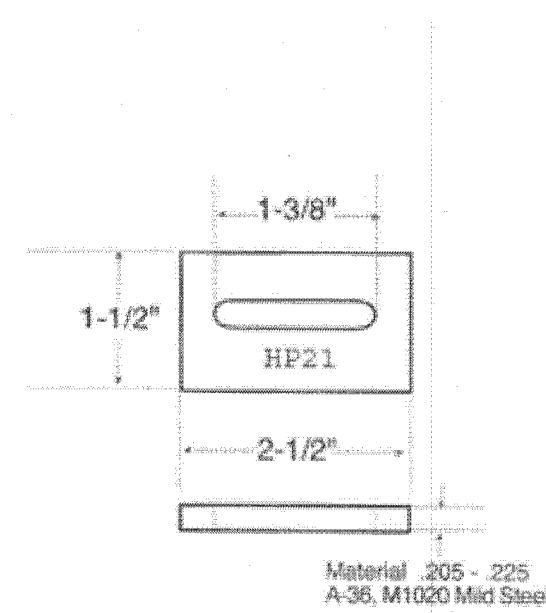
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DETAIL AND DIMENSIONS. ANY DISCREPANCIES BETWEEN SUCH DETAILS AND DIMENSIONS SHALL BE REPORTED TO THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTION PROCEDURE AND SEQUENCE TO INSURE THE INTEGRITY OF THE BUILDING AND ITS COMPONENT PARTS DURING CONSTRUCTION.
4. THESE PLANS HAVE BEEN PREPARED PER REGULATIONS OF THE 2015 IOWA BUILDING CODE. THE WORK OF ALL CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE AFERMENTED CODE. NO DEVIATIONS FROM THE WORK SHOWN OR REASONABLY IMPLIED SHALL BE UNDERTAKEN WITHOUT THE ENGINEER WRITTEN CONSENT - A COPY OF WHICH WILL BE FILLED WITH THE CONSTRUCTION OFFICIAL.
5. ANY CHANGES TO OR DEVIATIONS FROM THESE DRAWINGS SHALL NOT BE MADE WITHOUT WRITTEN CONSENT FROM THE ENGINEER.
6. THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER AND SHALL NOT BE USED WITHOUT HIS CONSENT. DRAWINGS SHALL NOT BE USED FOR ISSUE OF BUILDING PERMIT UNLESS SIGNED AND SEALED BY THE ENGINEER.
7. THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE ENGINEER FROM AND AGAINST ALL LIABILITY CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING LEGAL FEES ARISING OUT OF OR RESULTING FROM ERRORS OR OMISSIONS IN THE PERFORMANCE OF THE WORK BY THE CONTRACTOR. ALL WORK AND MATERIAL SHALL MEET THE REQUIREMENTS OF ALL LOCAL AND STATE BUILDING CODES. THE DRAWING SHOW THE GENERAL ARRANGEMENTS AND EXTENT OF THE WORK. AS THE WORK PROGRESSES, THE OWNER AND THE CONTRACTOR, AT NO EXTRA COSTS, SHALL MAKE MODIFICATIONS TO MAKE THE PARTS ALIGN.
8. CONTRACTORS SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING CONSTRUCTION. HE SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER FOR CORRECTION PRIOR TO BEGINNING ANY WORK. THE DISCOVERY OF DISCREPANCIES AFTER THE BEGINNING OF WORK WILL BE EVIDENCE OF FAULTY WORK AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS GOVERN.
9. THE CONTRACTOR FOR THE PROJECT SHALL INCLUDE ALL MATERIALS AND LABOR REQUIRED TO COMPLETE THE TOTAL PROJECT. THE CONTRACTOR SHALL FURNISH AND PAY FOR ALL MATERIALS, TOOLS, EQUIPMENT, LABOR, MACHINERY, TRANSPORTATION, HEAT, WATER, UTILITIES, AND ALL OTHER FACILITIES AND SERVICES REQUIRED FOR THE SAFE AND PROPER EXECUTION AND COMPLETION OF THE WORK. THE ENGINEER SHALL BE THE INTERPRETER OF THE CONTRACT DOCUMENTS.
10. THE DOCUMENTS SHOWN AN OVERVIEW OF THE WORK REQUIRED UNDER THIS CONTRACT AND RELATED REQUIREMENTS AND CONDITIONS THAT WILL IMPACT THE PROJECT. ALL DRAWINGS ARE COMPLIMENTARY. THE DRAWINGS GENERALLY SHOW THE INTENT OF THE OVERALL COMPLEXITY AND CONCEPTS OF THE PROJECT, AND DO NOT NECESSARILY SHOW ALL DETAILS AND CONDITIONS.
11. ALL NEW INTERIOR CONCRETE SLABS AND FOUNDATION WALLS AND FOOTING SHALL HAVE SOLID POISONING UNDER NEW WORK AND SHALL BE INSTALLED BY A LICENSED CONTRACTOR. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL STATE AND DEPARTMENT OF AGRICULTURE, STRUCTURAL, PEST CONTROL DIVISION REGULATIONS, RULES, DEFINITIONS AND REQUIREMENTS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND MAINTAINING ALL EXISTING SETBACKS, EASEMENTS, AND ANY DEED RESTRICTIONS.
13. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CLEANUP AND SHALL INCLUDE THE SITE, AND THE BUILDING. THE ENTIRE PROJECT SHALL BE LEFT IN A NEW, CLEAN CONDITION.



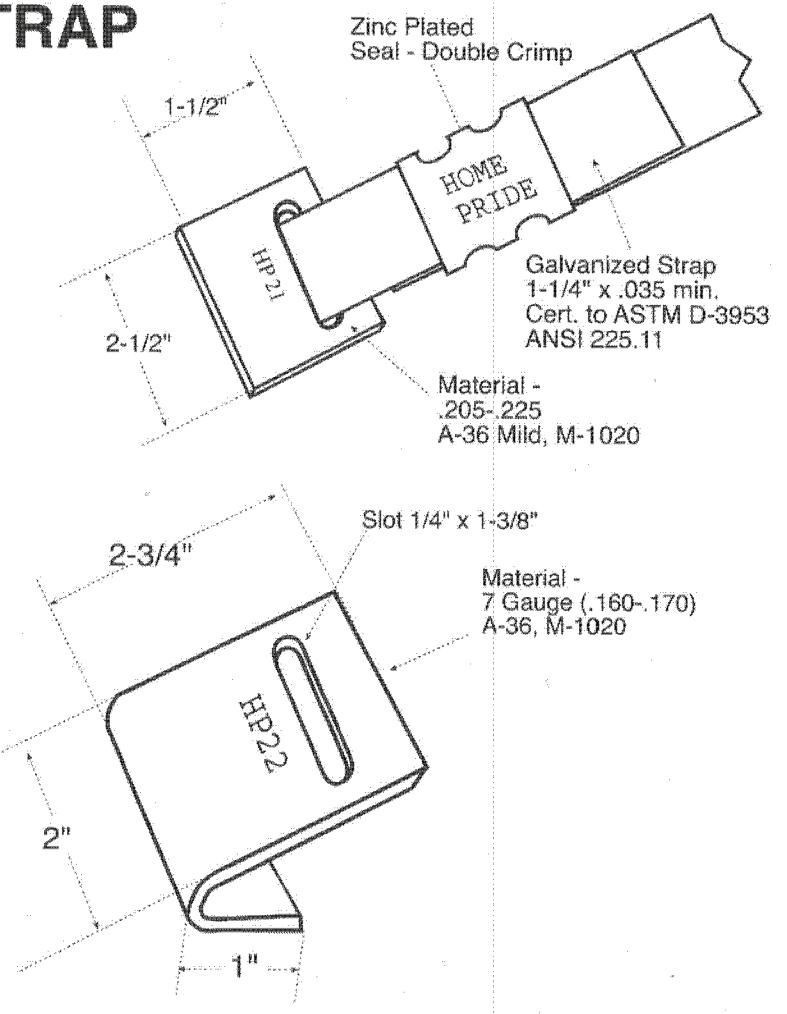
ENGINEERING SERVICES PROVIDED FOR:
PREMIER PORTABLE BUILDINGS
317 EAST STATE LINE ROAD
SOUTH FULTON, TN 38257
WWW.PREMIERBUILDINGS.US



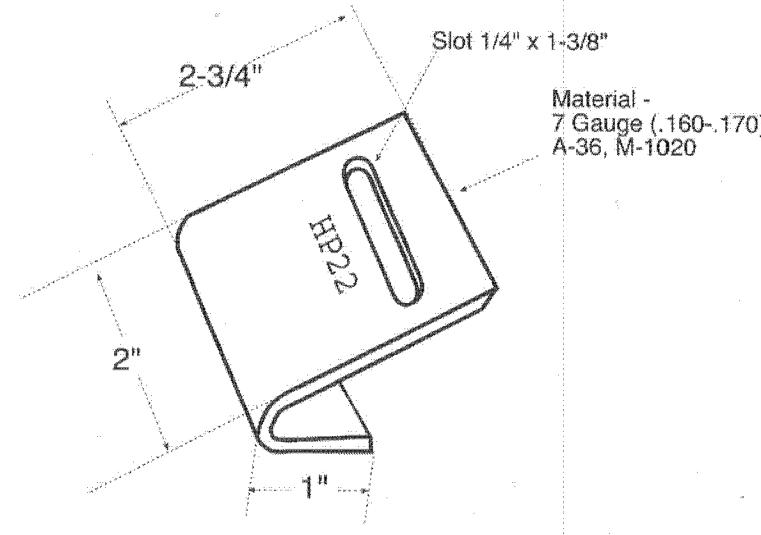
HP21
SINGLE SLOT
BUCKLE



HP21-(6 thru 15)
(HP21-6', HP21-7', HP21-8', HP21-10', HP21-12', HP21-15')
SINGLE BUCKLE
W/STRAP

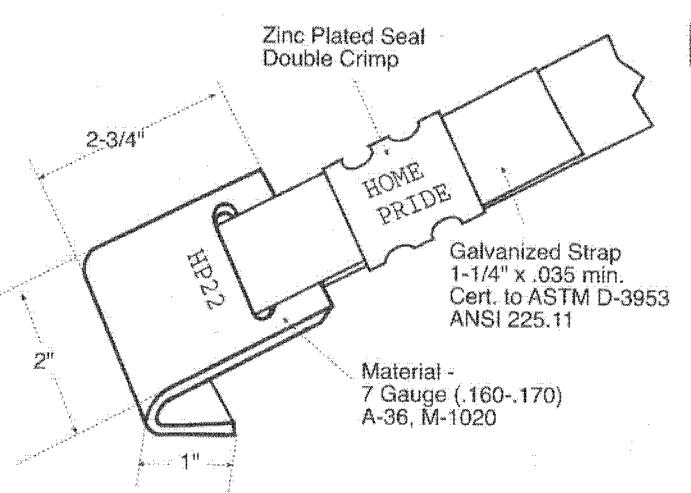


HP22
FRAME
CLAMP

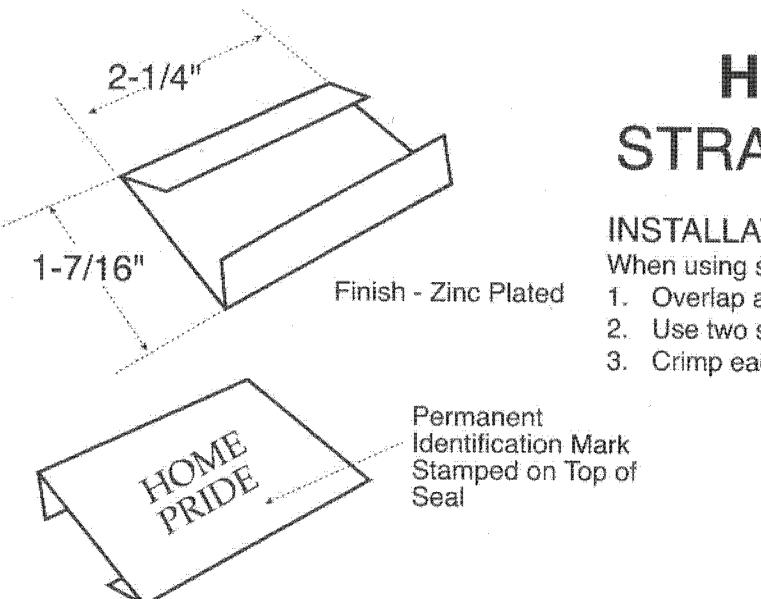
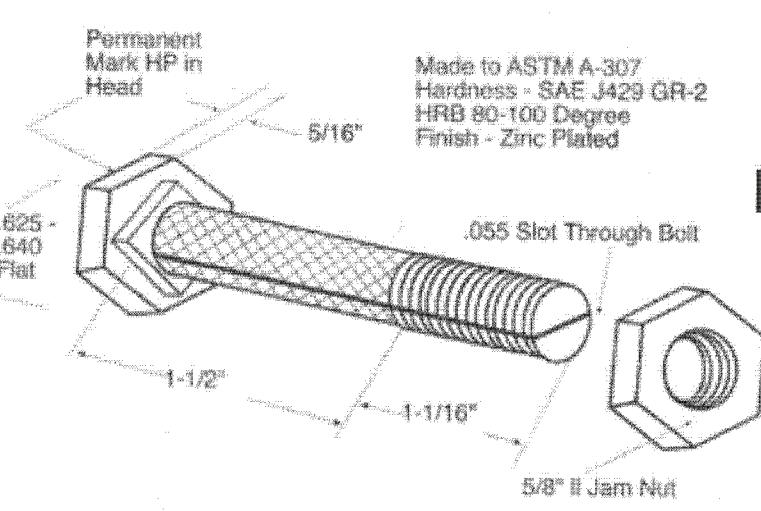


8

HP22-(6 thru 15)
(HP22-6, HP22-7, HP22-8',
HP22-10', HP22-12', HP22-15')
FRAME CLAMP
W/STRAP



HPAB
ANCHOR
BOLT & NUT



HPSS
STRAP SEAL

INSTALLATION INSTRUCTIONS:
When using seals to extend the strap:
1. Overlap a minimum of 8".
2. Use two seals placed together.
3. Crimp each seal twice.

9

PROJECT:
UTILITY SHED

PRODUCT CUT SHEETS

DON VAN GERVE, P.E.
SPECIALTY STRUCTURAL ENGINEER
860-500-9480



ENGINEERING SERVICES PROVIDED FOR:
PREMIER PORTABLE BUILDINGS
317 EAST STATE LINE ROAD
SOUTH FULTON, TN 38257
WWW.PREMIERBUILDINGS.US

REVISION	DESCRIPTION	DATE	BY
1			
2			
3			
4			
5			

DATE:	5.19.21	PROJECT NO.:	DRAWING BY:	CHK BY:	DWG NO.:
PROJECT NO.:	21070				
DRAWING BY:	JH				
CHK BY:	DVG				
A-9					



Exhibit D



PUBLIC WORKS DEPARTMENT | TRANSPORTATION PLANNING
3040 N DELTA HIGHWAY | EUGENE, OR 97408
P: 541.682.6996 | F: 541.682.8554

April 4, 2024

TO: Daniel Findlay, City of Veneta Planning
FROM: Aaron Staniak, Lane County Transportation Planning
RE: **TRANSPORTATION PLANNING REFERRAL RESPONSE**
DEPARTMENT FILE: SR-4-23
APPLICANT: JRC Ventures LLC
ASSESSOR'S MAP & TAX LOT: 1706361100300
ADDRESS: 88345 Territorial Road
BASE ZONE: Community Commercial

Proposal: A request to expand an existing coffee cart.

TRANSPORTATION PLANNING CONDITIONS OF APPROVAL:

Lane County Transportation Planning requests the following conditions of approval:

- Per LC 15.137(3), in order to retain the second access, located on Territorial Highway, signage and pavement markings must be added to the Jeans Road access indicating that this access is only right turn in and right turn out.
- Repair the curb on the subject property along the property that abuts Territorial Highway. In lieu of repairing the curb other barriers may be acceptable such as wheel stops placed along the areas where the curb is not continuous.

The following is provided for informational purposes:

- In accordance with Lane Manual 15.515, stormwater runoff from private property must not be directed to the Lane County Road right-of-way or into any Lane County drainage facility, including roadside ditches.
- Per 15.070 (1)(c)(i)(ee) building setbacks must be outside of the planned right-of-way.
- Per LC 15.215 Prohibited Activities, the County has authority to apply corrective action to any activity that has the potential to hinder normal operations and safety of the public right-of-way. The applicant is advised to monitor on-site operations of vehicle queue lengths to ensure vehicles do not extend into the public right-of-way.



PUBLIC WORKS DEPARTMENT | TRANSPORTATION PLANNING

3040 N DELTA HIGHWAY | EUGENE, OR 97408

P: 541.682.6996 | F: 541.682.8554

TRANSPORTATION PLANNING FINDINGS:

The subject property (“property”) is located within the City of Veneta’s Urban Growth Boundary. The property fronts Territorial Highway along its west property line and Jeans Road along its southern property line. Access is currently taken from both roads. The segment of Territorial highway along the property is functionally classified as a Rural Minor Arterial and is under the jurisdiction of Lane County. The segment of Jeans Road along the property is under the jurisdiction of the City of Veneta. Rural Minor Arterials require a minimum right-of-way width of 80 feet. For the purpose of establishing development setbacks, buildings must be at least 40 feet from centerline (i.e., one-half of the minimum required width of the right-of-way).

Lane Code 15.137 Access Management Requirements:

LC 15.137(3) states that for properties with frontage on two or more roads, access will be limited to the intersecting street with the lower functional classifications as defined in LC 15.020(2). If the functional class is the same or undetermined for either road, access must be taken from the road with the lowest expected traffic volume. The County Engineer may make specific exceptions when necessary to ensure safe and efficient travel.

This means access from Territorial Highway would need to be closed and the only access to and from the property would be from Jeans Road. In recognition of this being an established operation that does not have a documented history of safety concerns, and the fact that this proposal will not add a significant number of additional trips, Lane County would be willing to allow the Territorial Highway access to remain open with modifications to the Jeans Road access. Modifying Jeans Road to be right in/right out only would satisfy concerns the County has about this access location. Specifically, there are concerns surrounding turning movements both into and from the property because of the proximity to the Territorial Highway and Jeans Road intersection. Signage and pavement marking would be an acceptable remedy to modify the access.

Lane County has viewed evidence that indicates some of the curbing on the subject property along Territorial Highway may be in disrepair. In the interest of encouraging patrons to utilize the two access points onto the property, Lane County requests that the curbing on the property along Territorial Highway be repaired or have some sort of barrier such as wheel stops placed where the curbing has deteriorated. This action would serve to formalize the existing access points.

LC 15.215(1) states that prohibited Activities include any activity that has the potential of hindering the normal operation, maintenance, safety, or general use of a Public or County Road right-of-way. The following activities are generally prohibited and subject to the Failure to Comply and Enforcement Provisions of LC 15.210(11) and LC 15.950 through 15.955

All traffic visiting the proposed business must be accommodated on the subject property and may not interfere with traffic on Territorial Highway. Any vehicles queuing on Territorial Highway would be considered a prohibited activity. This will be made a condition of approval.



PUBLIC WORKS DEPARTMENT | TRANSPORTATION PLANNING
3040 N DELTA HIGHWAY | EUGENE, OR 97408
P: 541.682.6996 | F: 541.682.8554

THE FOLLOWING INFORMATIONAL ITEMS ARE PROVIDED FOR THE APPLICANT'S BENEFIT:

Facility Permits

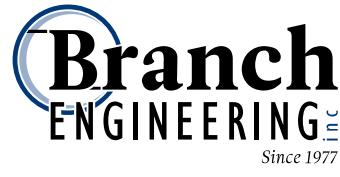
Generally, Facility Permit approval is required for the placement of facilities and development within the right-of-way of a County Road. Facilities and development include but are not limited to road improvements; sidewalks; new or reconstructed driveway or road approach intersections; utility placements; excavation; clearing; grading; culvert placement or replacement; stormwater facilities; or any other facility, thing, or appurtenance [LC 15.205(1)].

For more information about Facility Permits, please contact Lane County Right-of-Way Services at 541.682.6902 or visit: https://lanecounty.org/government/county_departments/public_works/right-of-way_permits/facility_permits/

Stormwater

Stormwater runoff from private property must not be directed to the Lane County Road right-of-way or into any Lane County drainage facility, including roadside ditches. Ditches adjacent to County roads are designed solely to accommodate stormwater runoff generated by the roadways themselves (Lane Manual Chapter 15.515).

MEMORANDUM



civil • transportation
structural • geotechnical
SURVEYING

DATE: April 4, 2024

TO: Daniel Findlay, Associate Planner

City of Veneta

FROM: Dan Haga, P.E., Julie Leland, P.E., Principal

CC: Lane Branch, P.E.

RE: Public Works Engineering Comments For:

Site Review for Drive-Through Coffee Stand @ 88345 Territorial Road City File #SR-4-23

Thank you for the opportunity to assist the City and provide comments for the Site Review of the Drive-Through Coffee Stand at 88345 Territorial Road.

My findings are as follows:

Finding: The site plan should show all existing and proposed utilities and connections to public water, sewer, and storm (if applicable), including all other above-ground and underground utilities within and directly adjacent to the site.

Finding: Verify the wastewater connection and line are appropriately sized for the new facilities within the proposed expansion.

Finding: The site plan should show the existing and proposed contours of the site.

Finding: Confirm proposed drive-through widow location does not shorten vehicle queue length along the southbound queue lane by showing the location of the existing window vs. the proposed widow location.

Finding: The ADA parking stall needs to be a van-accessible stall per ORS 447.233 with a 9' wide stall and 8' wide accessible aisle showing grade callouts that meet all ADA requirements.

END OF COMMENTS